

Phase I Modernization for:

# City of Moraine Municipal Building

4200 Dryden Road  
Moraine, OH 45439

OWNER

CITY OF MORAIN  
4200 DRYDEN ROAD  
MORAIN OH 45439  
937.535.1051

CONTACT: BOBBY ENGLE  
BUILDING AND MAINTENANCE SUPERINTENDANT

DESIGN TEAM

ARCHITECT: PME ENGINEERS:

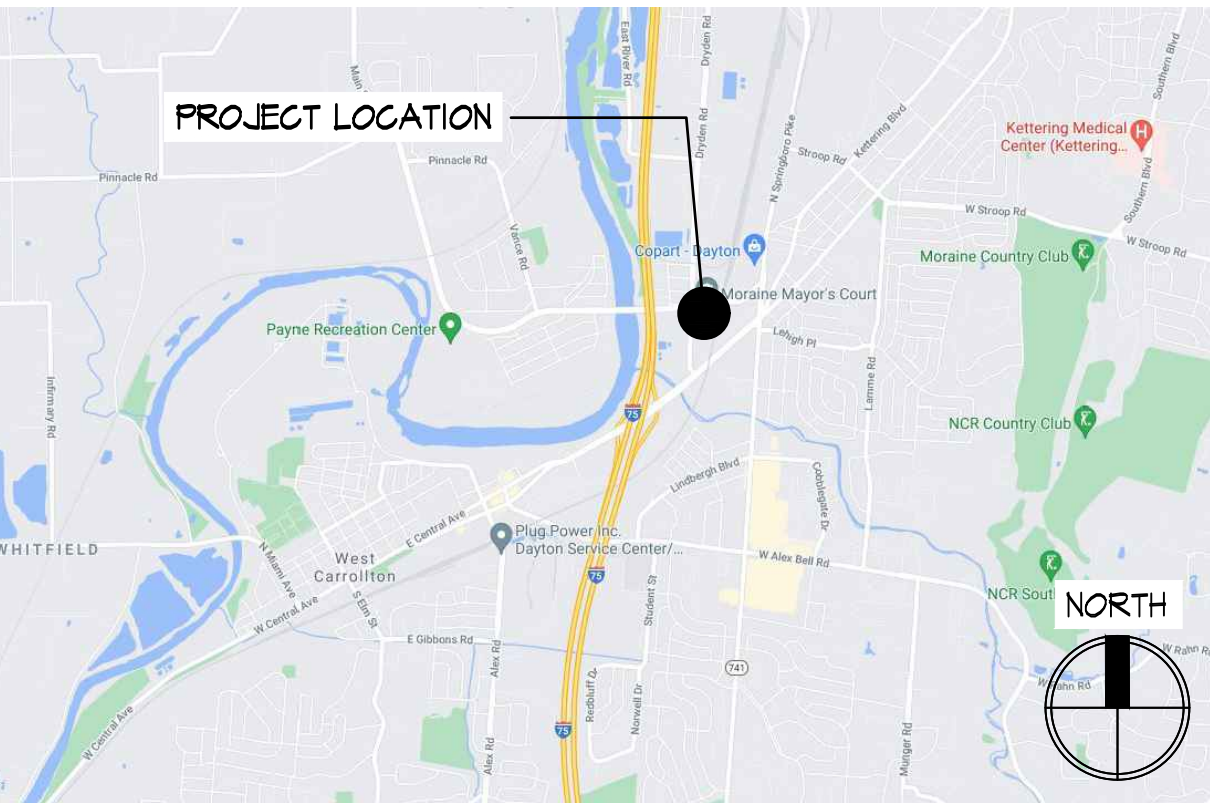


Helmig Lienesch LLC  
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410 South Jefferson Street  
Dayton, OH 45402

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VICINITY MAP



CODE REVIEW

**DESCRIPTION:** INTERIOR ALTERATIONS TO EXISTING OFFICE SPACE. NO CHANGE IN OCCUPANCY OR USE.

**JURISDICTION:** CITY OF MORAIN, MONTGOMERY COUNTY

**ZONING:** PARKING: NO CHANGE, EXISTING PARKING TO REMAIN.

**BUILDING CODE:** OHIO BUILDING CODE 2017 (CBC).

**CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION**  
304.1: USE GROUP: B, BUSINESS - NO CHANGE [AREA OF WORK]  
B, BUSINESS / S-2, GARAGE [ENTIRE BUILDING]

**CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA**  
TABLE 504.3: ALLOWABLE HEIGHT: B, SPRINKLERED, TYPE II B = 15'  
EXISTING - NO CHANGE [E 25']  
TABLE 505.4: ALLOWABLE STORIES: B, SPRINKLERED, TYPE II B = 4 STORIES  
EXISTING - NO CHANGE [2 STORIES]  
TABLE 506.2: ALLOWABLE AREA: B, SM, TYPE II B = 69,000 SF PER STORY  
EXISTING BUILDING  
MAIN LEVEL AREA: +/- 26,574 S.F. [OK]  
BASEMENT AREA: +/- 11,048 S.F. [OK]  
TOTAL BUILDING AREA: +/- 37,622 S.F.  
AREA OF WORK: +/- 11,871 S.F.

**508.3: NONSEPARATED OCCUPANCIES [B USE IS MOST RESTRICTIVE]**

**CHAPTER 6: TYPES OF CONSTRUCTION**  
602.2: CONSTRUCTION TYPE: II B

**TABLE 601:**  
PRIMARY STRUCTURAL FRAME = 0 HOUR  
EXTERIOR BEARING WALLS = 0 HOUR  
INTERIOR BEARING WALLS = 0 HOUR  
NON-BEARING WALLS = 0 HOUR  
FLOOR CONSTRUCTION = 0 HOUR  
ROOF CONSTRUCTION = 0 HOUR

**CHAPTER 7: FIRE-RESISTANCE RATED CONSTRUCTION**  
TABLE 705.8: MAXIMUM AREA OF EXTERIOR WALL OPENINGS  
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USE B, SPRINKLERED  
EXIT ENCLOSURES AND PASSAGEWAYS: CLASS B  
CORRIDORS: CLASS C  
ROOMS AND ENCLOSED SPACES: CLASS C

**CHAPTER 9: FIRE PROTECTION SYSTEMS**  
903.2 - USE GROUP B: AUTOMATIC FIRE SPRINKLER SYSTEM NOT REQUIRED - NFPA 13 SYSTEM  
EXISTS IN BUILDING - MODIFICATIONS AS REQ'D BY NEW WORK. SEE SHEET FPI-1  
906: PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH FIRE CODE, MORAIN F.D.  
907.2.2 - FIRE ALARM NOT REQUIRED - NOT PROVIDED.

**CHAPTER 10: MEANS OF EGRESS**  
TABLE 1004.1.2: BUSINESS:  
1 / 100 S.F. = 371 OCCUPANTS - NO CHANGE [BUILDING TOTAL]  
TABLE 1005.3: EGRESS WIDTH  
OCCUPANCY 371 X 20 = 754'  
ACTUAL = 3 DOORS AT 36" AND 4 DOORS AT 12" [OK - EXISTING - NO CHANGE]  
NO CHANGE TO EXISTING BUILDING EGRESS  
TABLE 1006.3.1: MINIMUM NUMBER OF EXITS 0-500 OCCUPANTS = 2 [1 EXITS PROVIDED]  
1007.1: ACCESSIBLE MEANS OF EGRESS: EXISTING ACCESSIBLE MEANS OF EGRESS AT MAIN ENTRY TO REMAIN.  
TABLE 1017.2: BUSINESS USE WITH SPRINKLER SYSTEM = 300' TRAVEL DISTANCE  
ACTUAL TRAVEL DISTANCE = +/- 100'-8"  
TABLE 1020.1: CORRIDORS SERVING MORE THAN 30 PERSONS = 0 HOUR WITH SPRINKLER SYSTEM  
TABLE 1020.2: CORRIDOR WIDTH: MIN. 44" - EXISTING

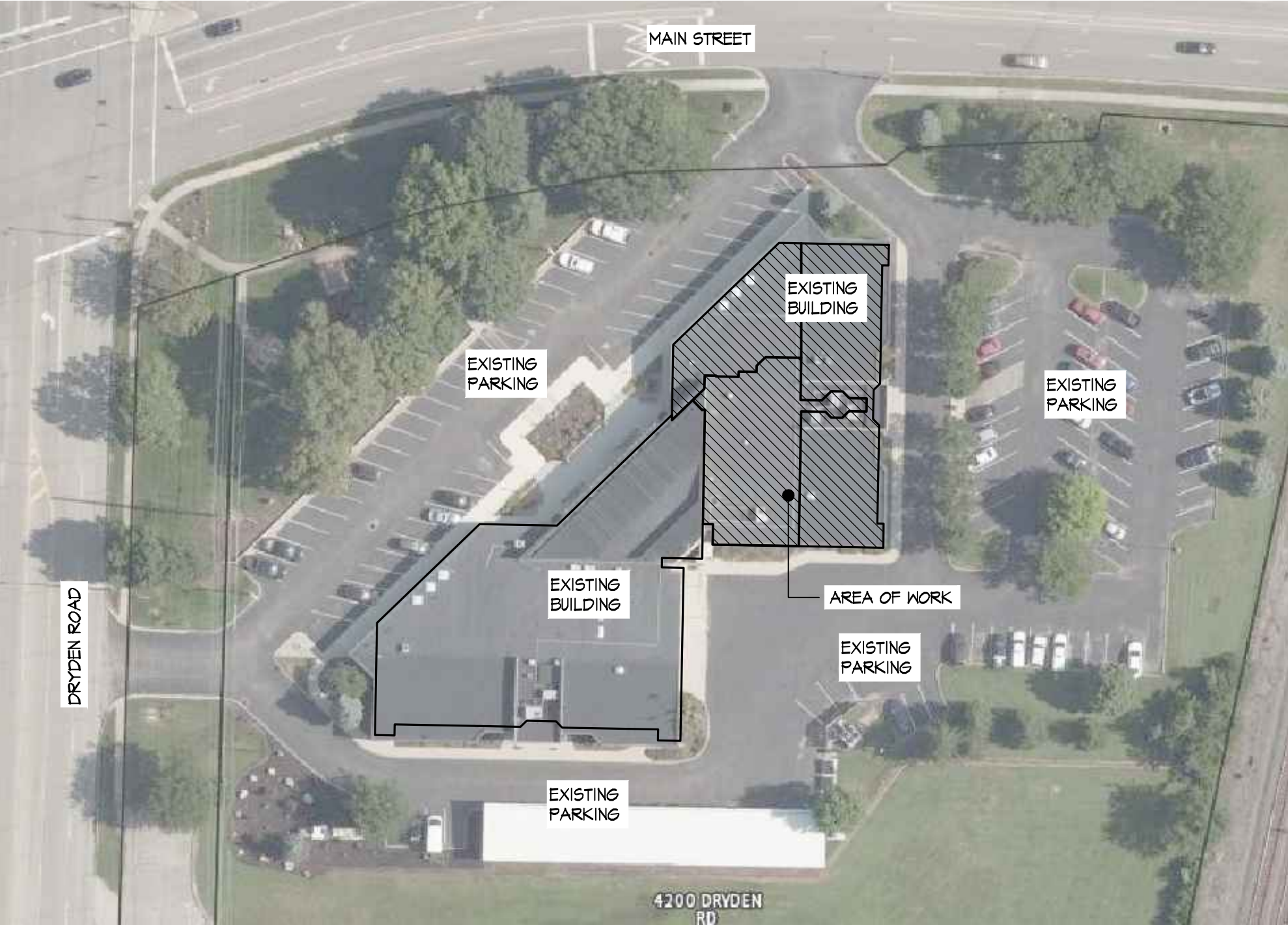
**CHAPTER 11: ACCESSIBILITY - SAFE HARBOR - ANSI 119.1 (2008)**  
1104.1: ACCESSIBLE ROUTE PROVIDED - FRONT ENTRANCE, EXISTING  
1105.4: ACCESSIBLE ENTRANCE - PROVIDED, EXISTING  
1104.5: ACCESSIBLE TOILET ROOMS - PROVIDED - 2 NEW ADDED IN AREA OF WORK.  
1111.1: ACCESSIBLE SIGNAGE - PROVIDED FOR TOILET ROOMS, AND OTHER AREAS REQUIRED BY ANSI/ADAAG - EXISTING

**CHAPTER 21: PLUMBING SYSTEMS**  
TABLE 2102.1: OCCUPANT LOAD OF 371 / 2 = 184 EACH MEN / WOMEN

1 NEW MEN'S AND 1 NEW WOMEN'S TOILET ROOM ADDED FOR CONVENIENCE WITHIN SPACE.  
TOTAL PLUMBING COUNT IS BEING INCREASED DESPITE NO CHANGE IN OCCUPANCY.

COMMON AREA PLUMBING FACILITIES PROVIDED [EXISTING, NO CHANGE]

	NEW	EXISTING	TOTAL	REQUIRED
MEN				
WATERCLOSETS	1/50	1	5 / 4 URN	6/4
LAVATORIES	1/80	1	5	4 [OK]
SHOWER			4	3 [OK]
WOMEN				
WATERCLOSETS	1/50	1	6	4 [OK]
LAVATORIES	1/80	1	5	3 [OK]
SHOWER			2	
DRINKING FOUNTAINS		EXISTING TO REMAIN		
SERVICE SINK		EXISTING TO REMAIN		



REFERENCE SITE PLAN

SCALE: 1"=60'-0"



WALL / SYMBOL LEGEND

---	EXISTING WALLS/FINISHES TO BE REMOVED
---	EXISTING WALL TO REMAIN
---	NEW METAL STUD FRAME WALL
[X]	WALL TYPE KEY
[#]	DEMOLITION KEY NOTE
[#]	NEW CONSTRUCTION KEY NOTE
[#]	REFLECTED CEILING KEY NOTE
[D]	WINDOW TYPE KEY
[OOO]	DOOR TYPE KEY
[A/A2.0]	SECTION TAG
[N/A/E]	ELEVATION TAG

ABBREVIATIONS

ADAAG	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ATC	ACOUSTIC TILE CEILING
BLKG	BLOCKING
BET	BETWEEN
BRG	BEARING
BTM	BOTTOM
CIP	CAST IN PLACE
CL	CENTERLINE
CLG	CEILING
CT	CERAMIC TILE
CLR	CLEAR
COL	COLUMN
CPT	CARPET
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
CJ	CONTROL JOINT
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DN	DISHWASHER
ELEV	ELEVATION
EQ	EQUAL
EX	EXISTING
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
FIN	FINISHED
FRT	FIRE RETARDANT TREATED
FSE	FOOD SERVICE EQUIPMENT
FTG	FOOTING
FV	FIELD VERIFY
GA	GAUGE
GYP BD	GYPSUM BOARD
GC	GENERAL CONTRACTOR
HM	HOLLOW METAL
HT	HEIGHT
HOR	HORIZONTAL
MAX	MAXIMUM
MECH	MECHANICAL
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPG	OPENING
PENB	PRE-ENGINEERED METAL BUILDING
PTD	PAINTED
QT	QUARRY TILE
RAD	RADIUS
RD	ROOF DRAIN
REF	REFRIGERATOR
REQD	REQUIRED
RO	ROUGH OPENING
SIM	SIMILAR
SM	SHEET METAL
SPEC	SPECIFICATION
SS	STAINLESS STEEL
SQ	SQUARE
STL	STEEL
T.O.	TOP OF
TYF	TYPICAL
UFAS	UNIFORM FEDERAL ACCESSIBILITY STD.
WRB	WEATHER RESISTIVE BARRIER
WWF	WELDED WIRE FABRIC

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN INSTRUCTION MANUAL TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY TRADES. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.

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Print Record

03/06/23 Final Review  
03/29/23 Bid / Construction Set

Project Number

2020-149

Date

March 29, 2023

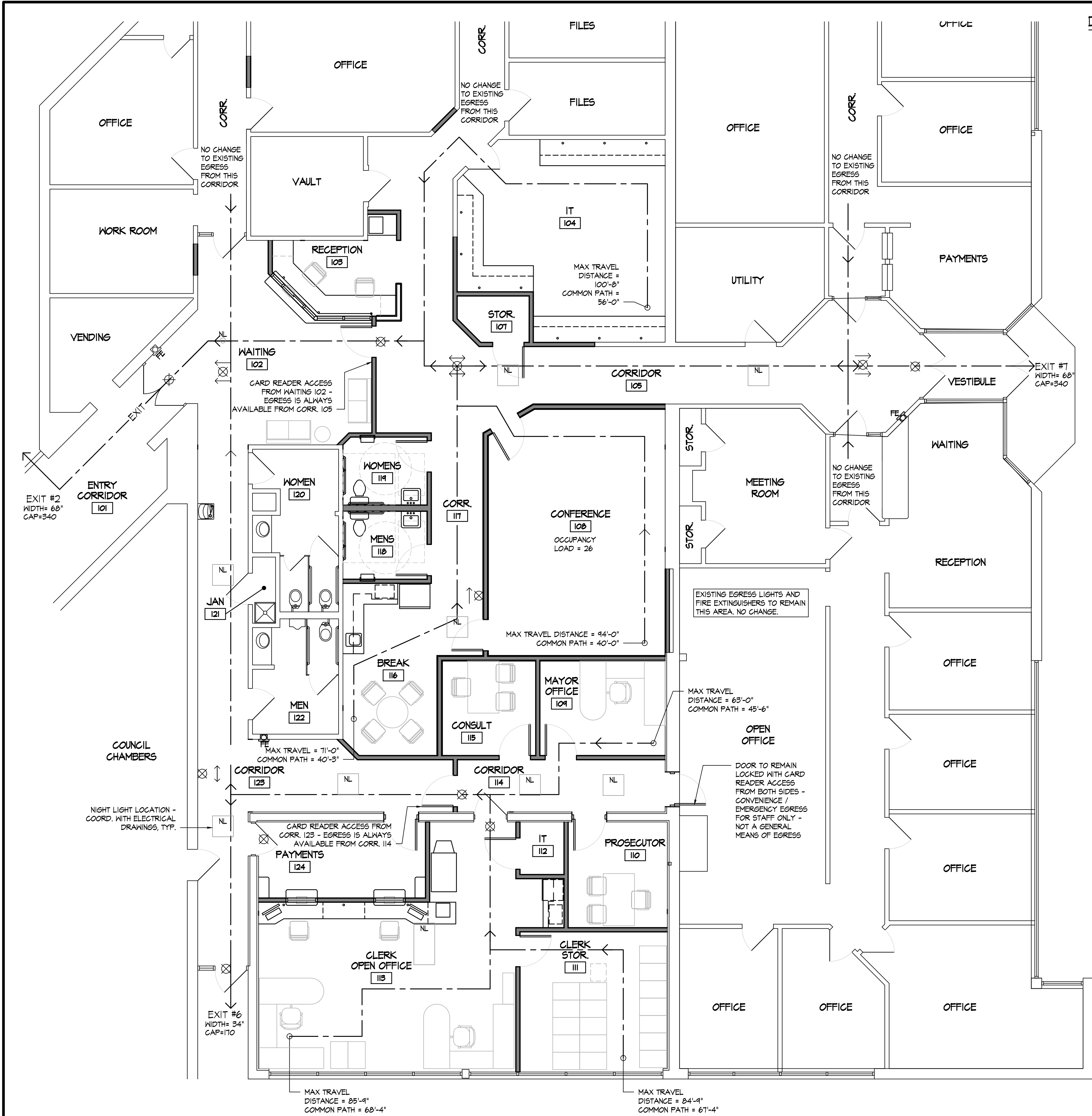
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PROJECT INFORMATION  
SITE PLAN

Sheet Number

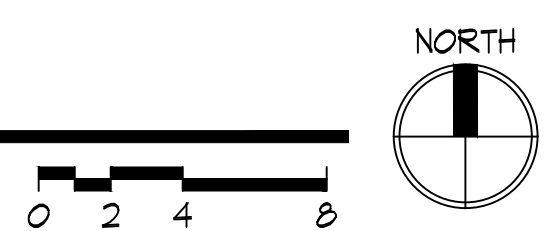
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AREA 'A'  
CODE REVIEW PLAN

SCALE: 3/16" = 1'-0"



DIVISION 1 - GENERAL PROJECT REQUIREMENTS

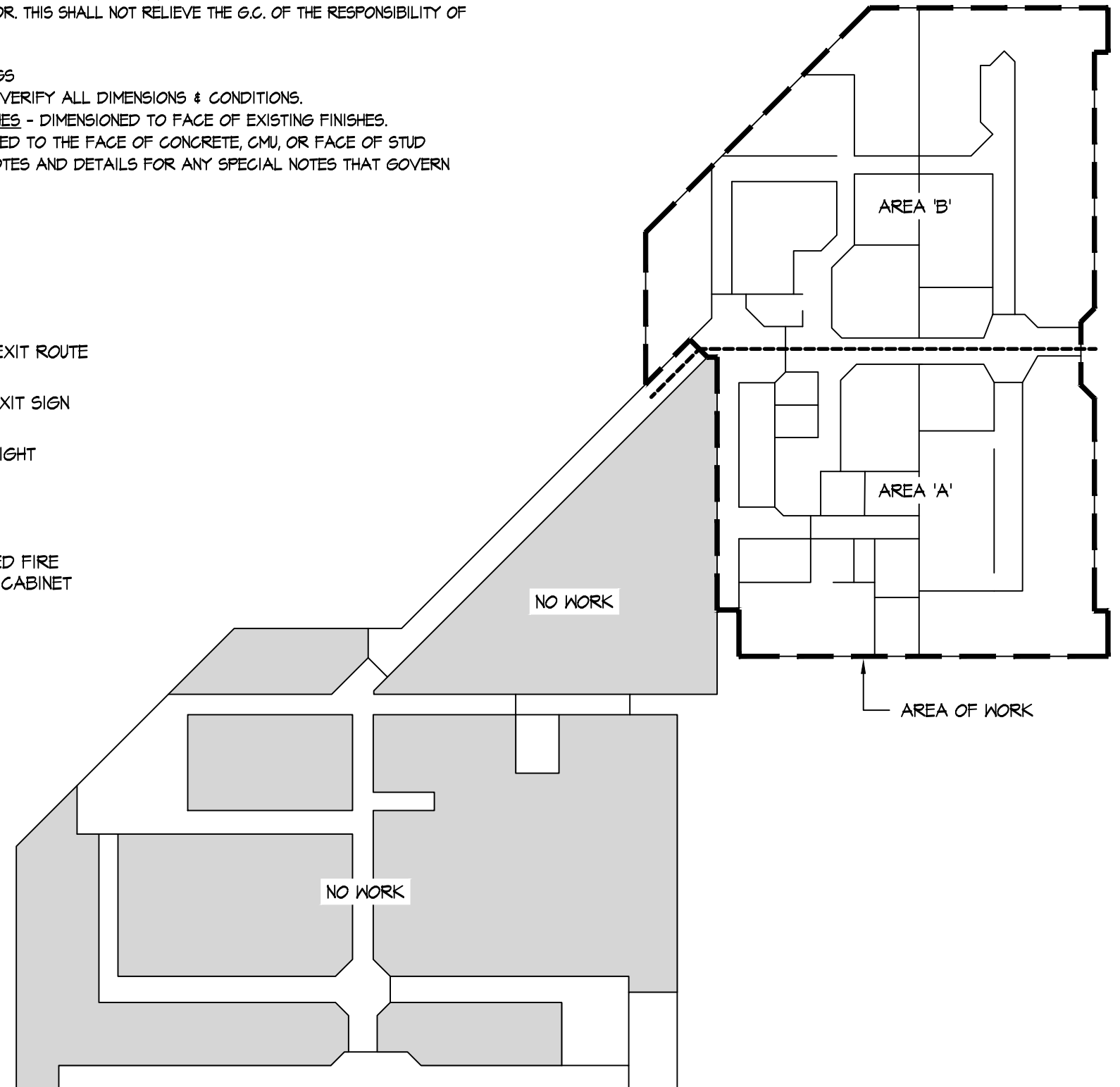
- 1. TRASH / DEBRIS:
  - 1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQD FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER, INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 2. PROJECT STAGING AREA: AT OWNER DIRECTION
- 3. CONTRACTOR SHALL FOLLOW APPLICABLE GENERAL CONDITIONS REQUIREMENTS AS ESTABLISHED ON THE LATEST EDITION OF AIA DOCUMENT A-201.
- 4. CONSTRUCTION SAFETY:
  - 1.4.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND OSHA REGULATIONS. THE ARCHITECT AND THE CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.4.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.4.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.4.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.4.4.1. PROVIDE FIRE HATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 5. PRODUCTS:
  - 1.5.1. CONTRACTOR TO INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.5.2. ALL FINAL FINISHES AND SELECTIONS SHALL BE COORDINATED WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.5.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
  - 1.5.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS, AND SPECIFICATIONS CONTRACTOR IS RESPONSIBLE FOR DETERMINING QUANTITY OF EACH ITEM REQUIRED.
- 6. PERMITS:
  - 1.6.1. ALL WORK SHALL CONFORM TO THE 2017 OHIO BUILDING CODE, AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE. CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
  - 1.6.2. THE GENERAL CONTRACTOR SHALL VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY AN REGULATORY AUTHORITY.
  - 1.6.3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COST RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL GOVERNING AGENCIES APPROVALS.
  - 1.6.4. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AS HOLDER OF PERMITS TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. REQUESTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING JURISDICTION. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK. RECORDS OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS AND FORMAT OF GOVERNING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR ITS AGENTS.
    - 1.6.4.1. CONTRACTOR SHALL MAINTAIN A COPY OF APPROVED PERMIT DRAWINGS ON-SITE FOR INSPECTION PURPOSES. COORDINATE WITH BUILDING DEPARTMENT.
- 7. COORDINATION:
  - 1.7.1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE DUE TO A CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF INCONSISTENCIES OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC.
  - 1.7.2. COORDINATION AMONG ALL TRADES IS MANDATORY. ANY COST CHANGES RESULTING FROM THE LACK OF COORDINATION SHALL BE BORNE BY THE CONTRACTOR CREATING THE CONFLICT.
  - 1.7.3. GENERAL CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUBCONTRACTORS. ALL CROSS-REFERENCING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  - 1.7.4. THE ABBREVIATION N.L.C. INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR. THIS SHALL NOT RELIEVE THE G.C. OF THE RESPONSIBILITY OF COORDINATION.
- 8. DIMENSIONING CONVENTIONS:
  - 1.8.1. DO NOT SCALE DRAWINGS
  - 1.8.2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
  - 1.8.3. EXISTING WALLS / FINISHES - DIMENSIONED TO FACE OF EXISTING FINISHES.
  - 1.8.4. NEW WALLS - DIMENSIONED TO THE FACE OF CONCRETE, CMU, OR FACE OF STUD.
  - 1.8.5. REFER TO DRAWINGS NOTES AND DETAILS FOR ANY SPECIAL NOTES THAT GOVERN THE LAYOUT.

SYMBOL LEGEND

- > EXIT DESIGNATED EXIT ROUTE
- ⊗ EMERGENCY EXIT SIGN
- ⬡ EMERGENCY LIGHT
- N NIGHT LIGHT
- FE SEMI-RECESSED FIRE EXTINGUISHER CABINET

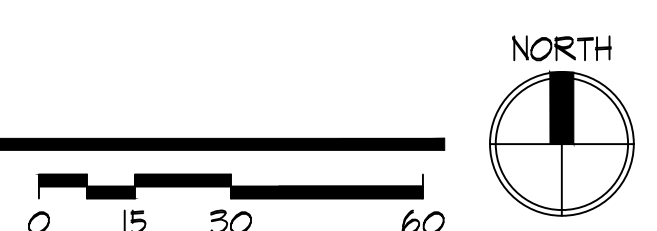
DIVISION 2 - EXISTING CONDITIONS

- 1. VERIFICATION OF EXISTING CONDITIONS / ACCEPTANCE OF CONDITIONS
  - 1.1. DO NOT SCALE DRAWINGS.
  - 1.1.1. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS GOVERNING THEIR SCOPE OF THE WORK.
  - 1.1.3. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES IN THESE DRAWINGS WHICH ARE DISCOVERED ARE TO BE REPORTED IN WRITING TO THE ARCHITECT IMMEDIATELY, BEFORE PROCEEDING WITH THE WORK. ANY SITE OR JOB CONDITIONS (INCLUDING ADVERSE SOIL BEARING CONDITIONS) THAT ARISE AND CAUSE THE CONTRACTOR TO VARY FROM THE CONTRACT DOCUMENTS SHALL BE ANALYZED BY AND ARE THE RESPONSIBILITY OF THE CONTRACTOR IF THEY ARE NOT REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
  - 1.1.4. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY EXAMINE AND BECOME FAMILIAR WITH THE SITE BEFORE COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFY THE CONDITIONS AND NATURE OF THE CONSTRUCTION MATERIALS, AND AVAILABLE UTILITIES AND STRUCTURAL ELEMENTS AND TO NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS OF MATERIALS TO SECURE ALL NECESSARY ADAPTATIONS TO SAVE AS REQUIRED FOR THEIR RESPECTIVE WORK PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF ANY MATERIALS, EQUIPMENT, OR COMPONENTS WHICH ARE TO BE INTEGRATED INTO THE WORK OF THIS PROJECT.
  - 1.1.6. THE CONTRACTOR SHALL CONTACT CLIENT, OR THE ARCHITECT OF RECORD, REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH THE ARCHITECT'S CONSULTANTS, OR REGULATORY AGENCIES SHALL NOT BE CONSIDERED VALID AND ANY CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, OR NON APPROVALS DUE TO SUCH COMMUNICATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. SHOULD ADDITIONAL ENGINEERING OR INVESTIGATIVE WORK BE REQUIRED DUE TO SITE OR ENVIRONMENTAL CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. ENGINEERING SERVICES REQUIRED FOR CHANGES OR MODIFICATIONS IN THESE DOCUMENTS SHALL BE SECURED BY OWNER.
  - 1.1.7. ANY PART OR PARTS OF THE EXISTING BUILDING STRUCTURE (IN PART OR IN WHOLE) THAT SHOWS SIGNS OF ROTTING, VANDALISM, WATER DAMAGE, PEST DAMAGE, OR ANY OTHER DETERIORATION THAT MAY CAUSE THAT PART OR PARTS TO NOT COMPLY WITH ANY EXISTING APPLICABLE GOVERNMENT BUILDING CODES AND STANDARDIZED CONSTRUCTION PRACTICES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY.
  - 1.1.8. WHERE NEW CONSTRUCTION IS TO BE SUPERSEDED FROM THE EXISTING STRUCTURE, THE GENERAL CONTRACTOR SHALL VERIFY THAT THE EXISTING STRUCTURE HAS THE CAPACITY TO SUPPORT SUCH NEW ASSEMBLIES.
- 2. PROTECTION / CUTTING AND PATCHING:
  - 1.2.1. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
  - 1.2.2. CONTRACTOR SHALL PROVIDE ALL FLOOR LEVELING, PATCHING, AND REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING SPACES AND TO PREPARE EXISTING SURFACES FOR NEW FINISHES.
  - 1.2.3. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, AND/OR FLOOR CONSTRUCTION COMPLETELY SEAL VOIDS.
  - 1.2.4. REFINISH SURFACES TO MATCH ADJACENT FINISHES, UNLESS NOTED OTHERWISE.
  - 1.2.5. CONTRACTOR SHALL PROVIDE AND INSTALL ANY AND ALL ACCESS PANELS AS REQUIRED.
  - 1.2.6. CONTRACTOR TO PROVIDE AND / OR MAINTAIN FIRE RATED ASSEMBLIES WHERE SHOWN OR AS REQUIRED.
- 3. SALVAGED ITEMS: AS DIRECTED BY OWNER.



BUILDING KEY PLAN

SCALE: 1" = 30'-0"



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Date  
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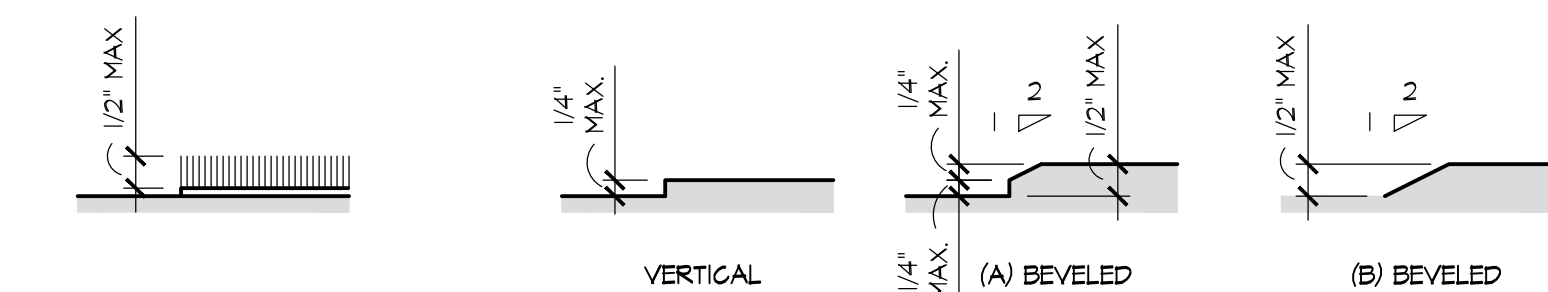
Sheet Title  
AREA 'A'  
CODE REVIEW PLAN

Sheet Number  
**G1.2**



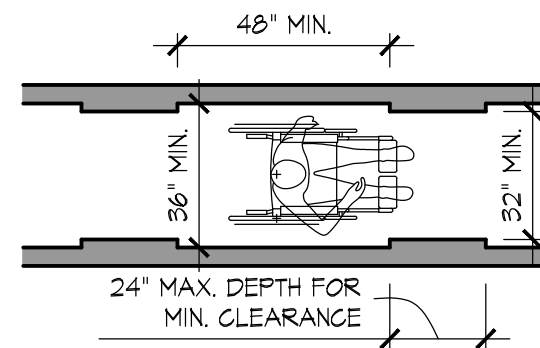




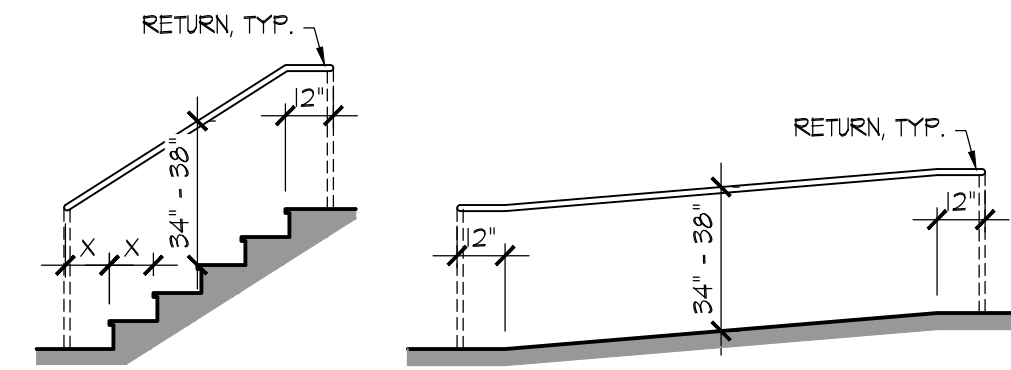


ICC/ANSI A117.1 - 2009  
CHAPTER 3 FIG. 302.2  
CARPET ON FLOOR SURFACES

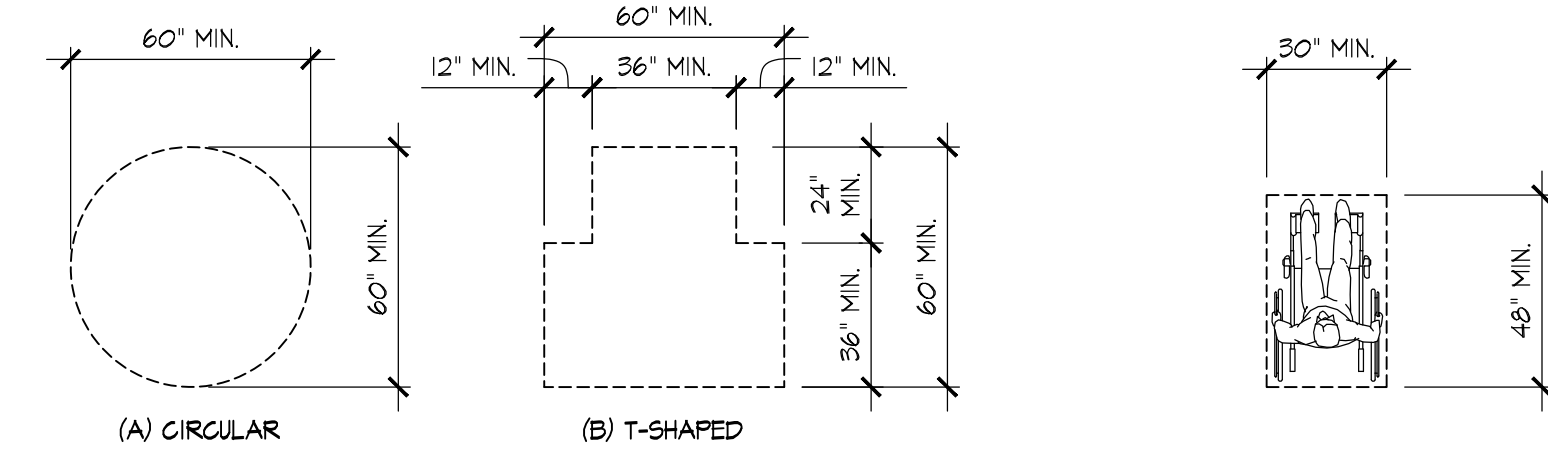
ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 303.2 - 3 (A) (B)  
CHANGES IN FLOOR LEVEL



ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 403.5  
CLEAR WIDTH OF AN ACCESSIBLE ROUTE

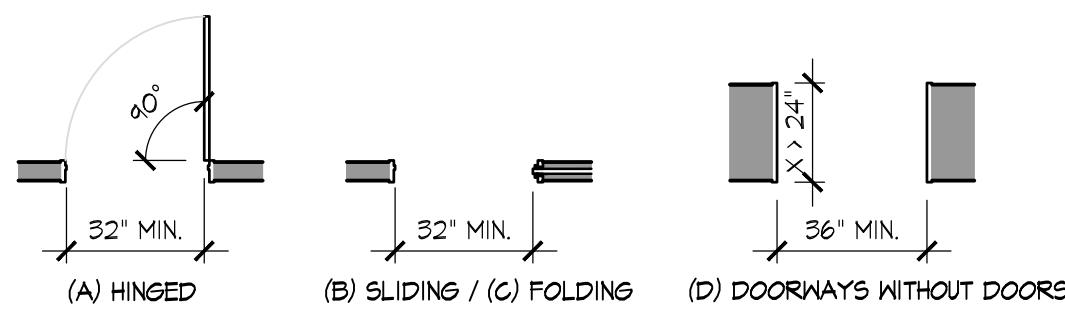


ICC/ANSI A117.1 - 2009 CHAPTER 5 FIG. 505.4 / 505.10.2 / 505.10.1 / 505.10.3  
HANDRAIL HEIGHT / EXTENSIONS

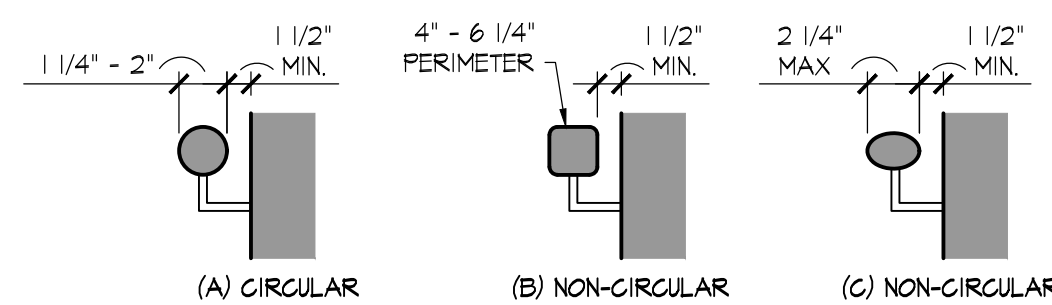


ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 304.3  
SIZE OF TURNING SPACE

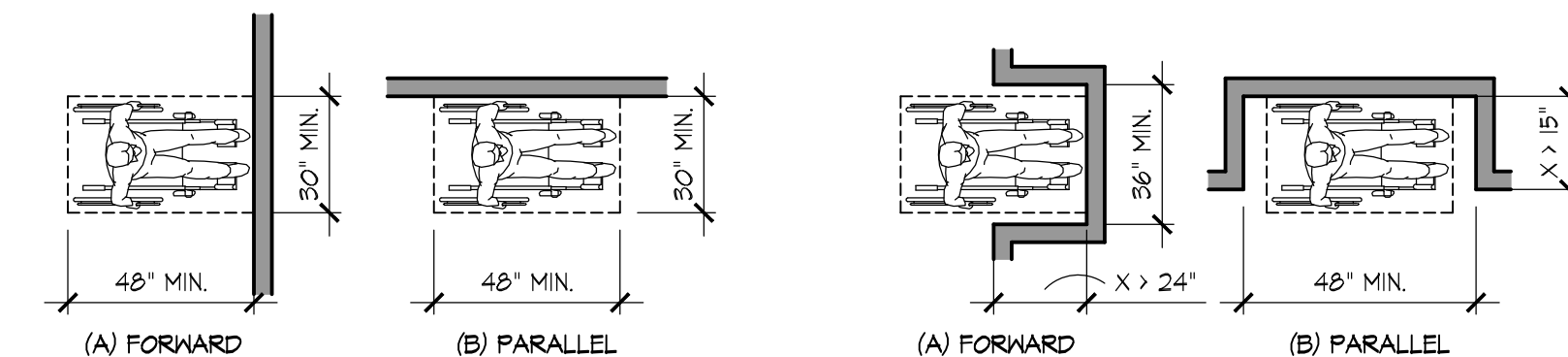
ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 305.3  
SIZE OF CLEAR FLOOR SPACE



ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 404.2.2  
CLEAR WIDTH OF DOORWAYS

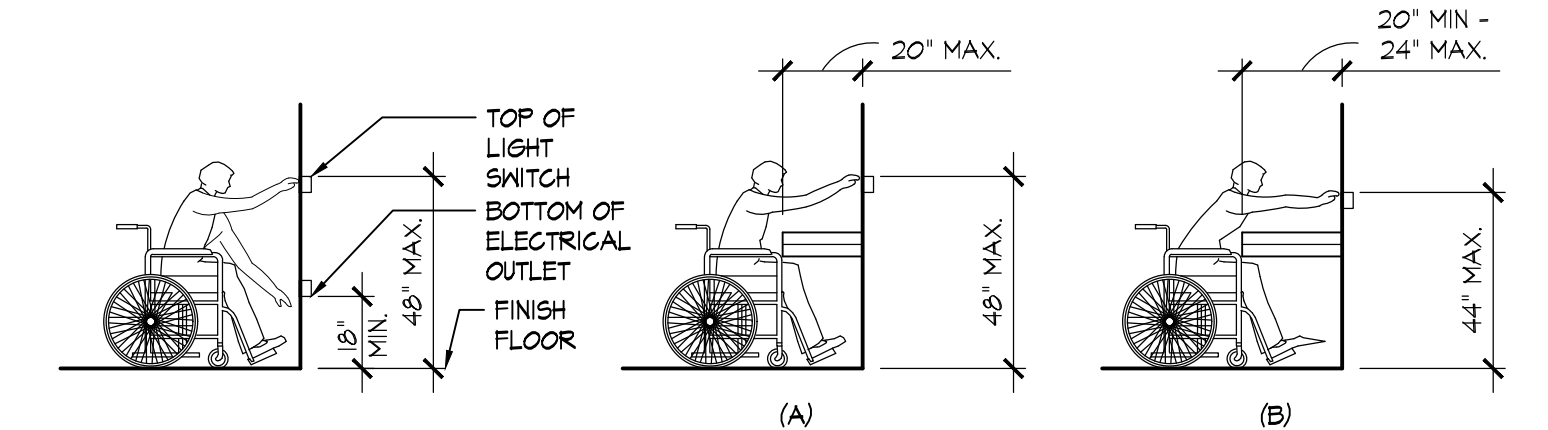


ICC/ANSI A117.1 - 2009 CHAPTER 5 FIG. 505.7  
HANDRAIL CROSS SECTION



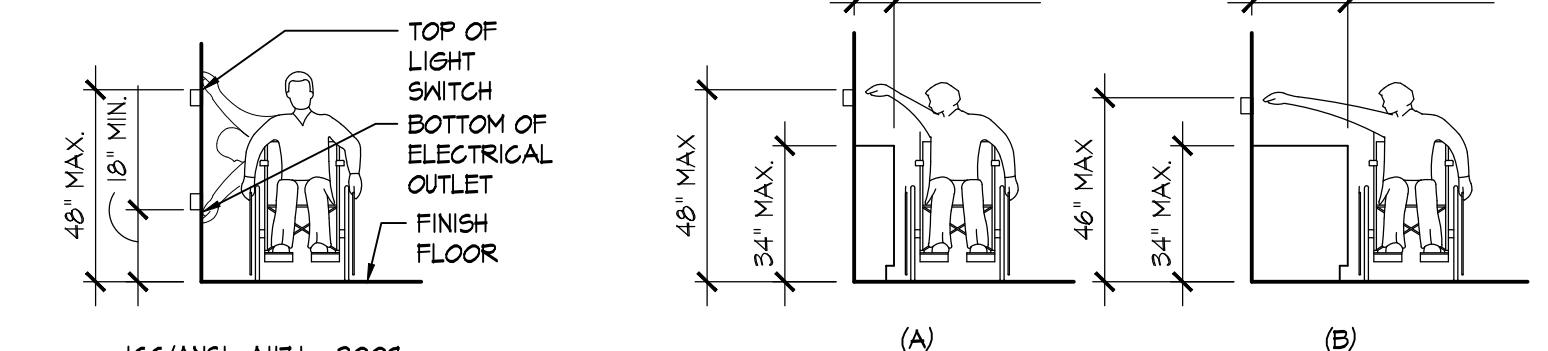
ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 305.5  
POSITION OF CLEAR FLOOR SPACE

ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 305.7  
MANEUVERING CLEARANCE IN AN ALCOVE



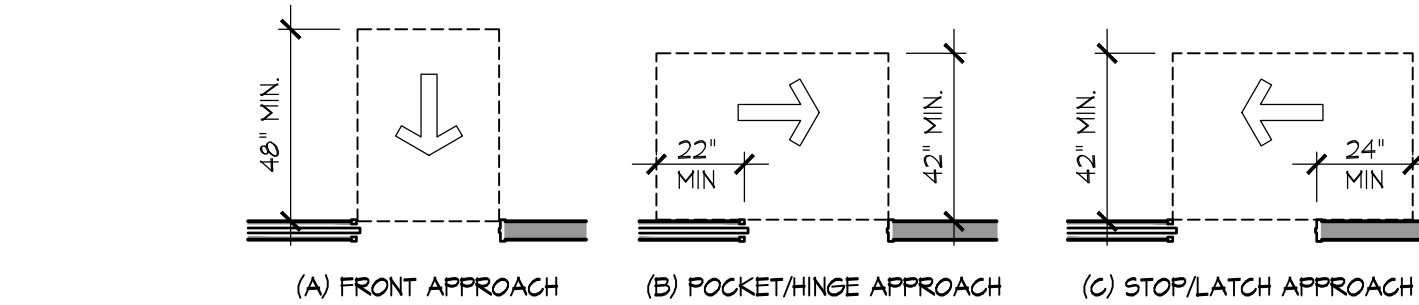
ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 306.2.1  
UNOBSTRUCTED FORWARD REACH

ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 306.2.2  
OBSTRUCTED FORWARD REACH

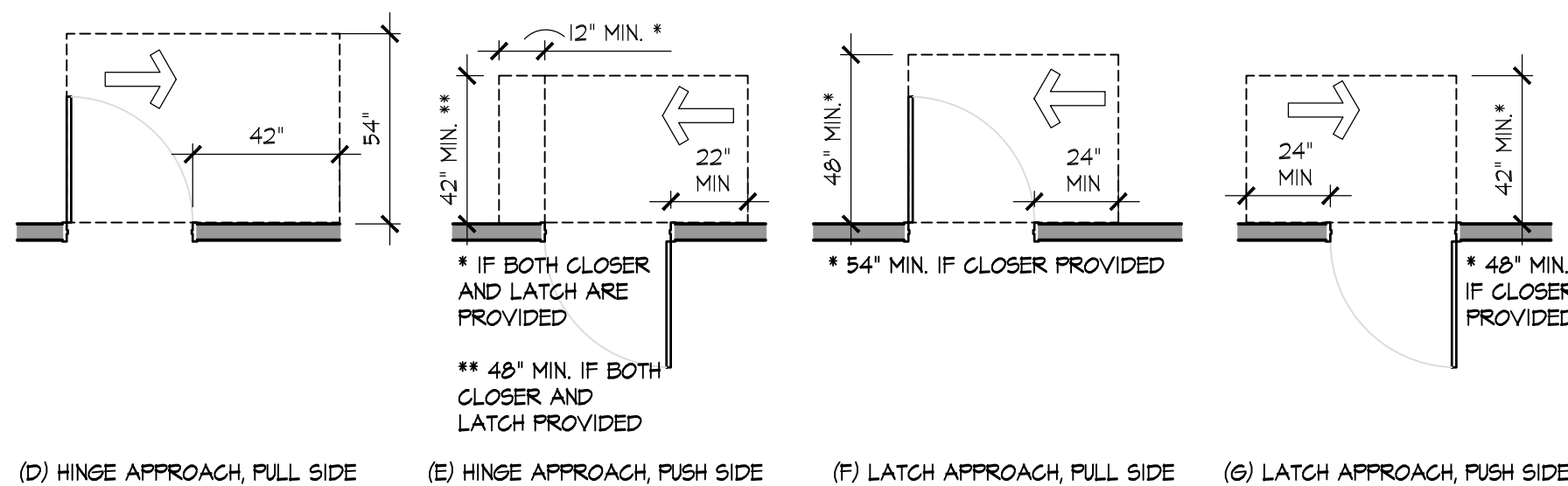
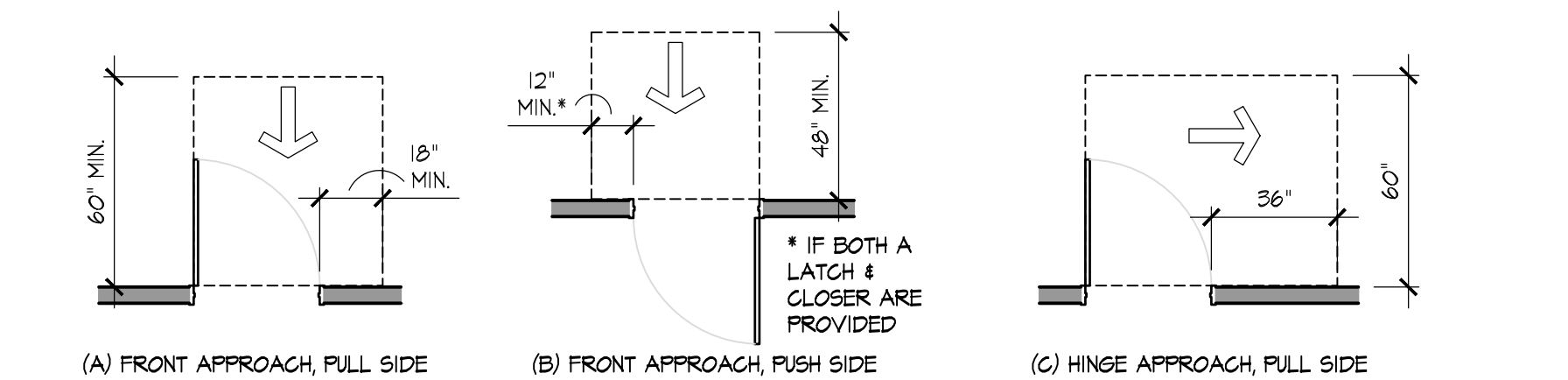


ICC/ANSI A117.1 - 2009  
CHAPTER 3 FIG. 306.3.1  
UNOBSTRUCTED SIDE REACH

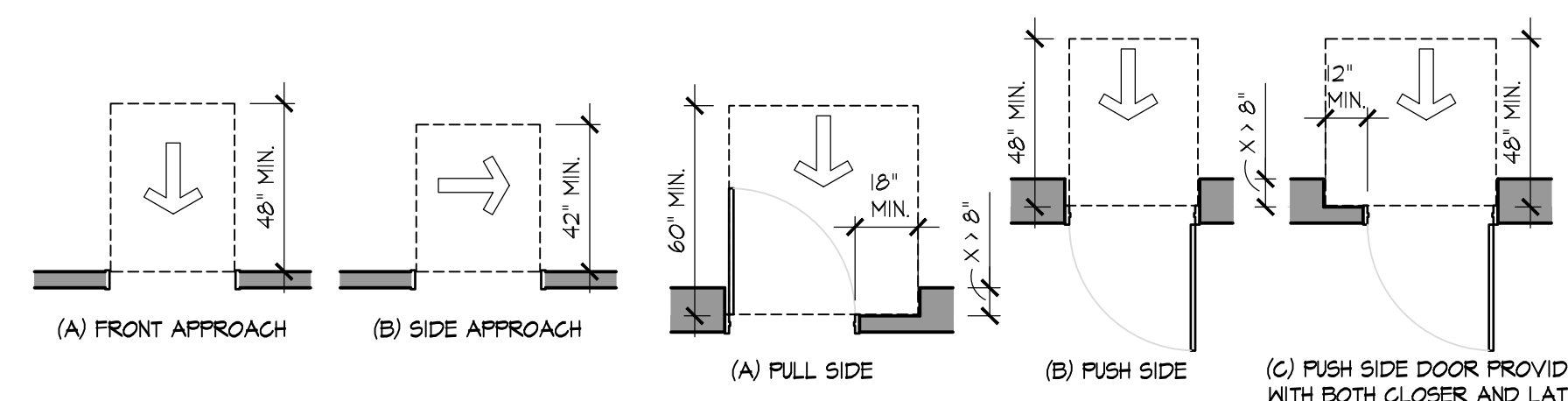
ICC/ANSI A117.1 - 2009 CHAPTER 3 FIG. 306.3.2  
MAXIMUM SIDE REACH OVER AN OBSTRUCTION



ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 404.2.3.3  
MANEUVERING CLEARANCE AT SLIDING AND FOLDING DOORS

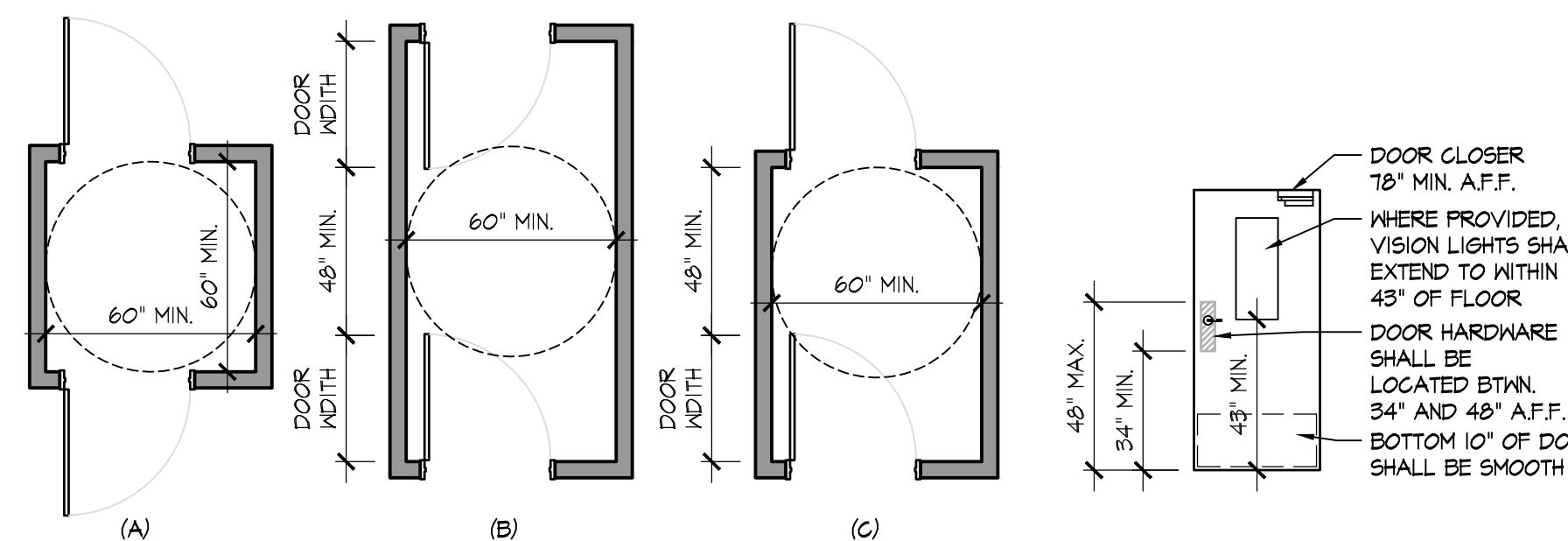


ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 404.2.3.2  
MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS



ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 404.2.3.4  
MANEUVERING CLEARANCE AT OPENINGS WITH NO DOORS

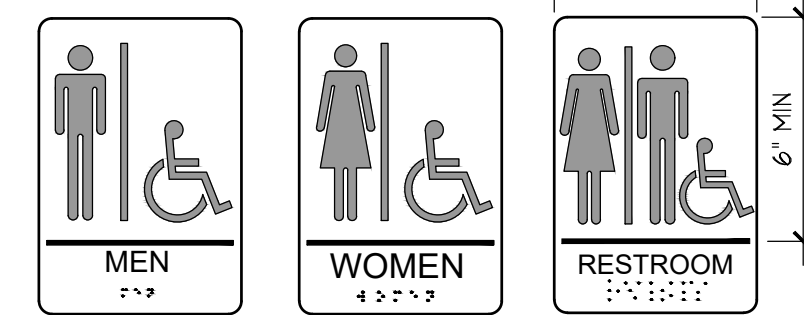
ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 404.2.3.5  
MANEUVERING CLEARANCE AT OPENINGS WITH NO DOORS



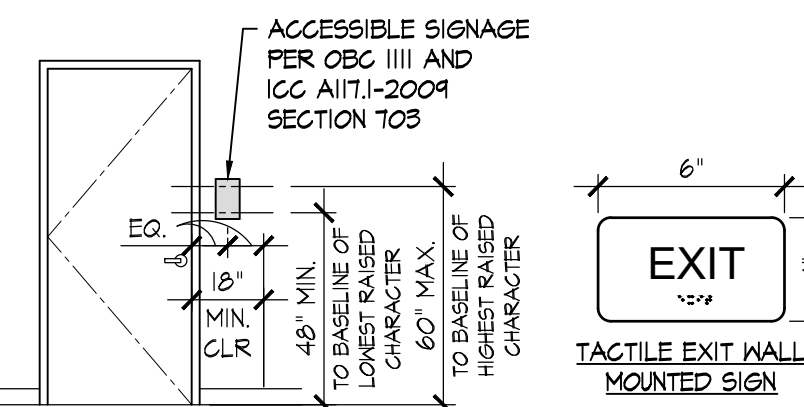
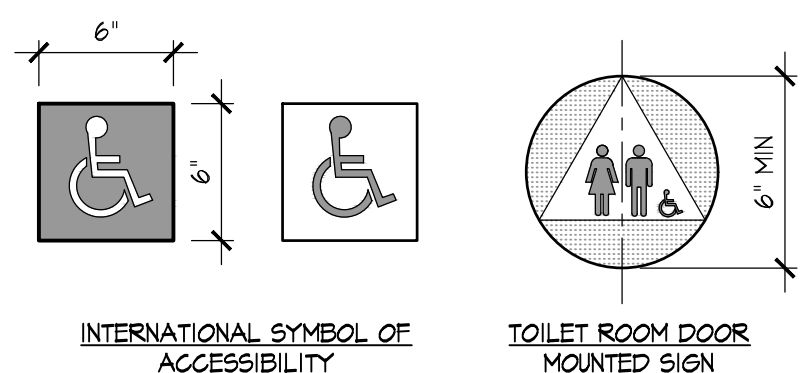
ICC/ANSI A117.1 - 2009 CHAPTER 4 FIG. 404.2.5  
TWO DOORS IN A SERIES

ICC/ANSI A117.1 - 2009 CHAPTER 4 404.2.2 "INTERPOLATION"  
DOOR HARDWARE MOUNTING HEIGHTS

#### ACCESSIBILITY SIGNAGE DETAILS



#### TOILET ROOM WALL MOUNTED SIGN



#### ACCESSIBILITY SIGNAGE NOTES:

**CHARACTER PROPORTION:**  
LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.

**RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS (PICTOGRAMS):**  
LETTERS AND NUMERALS SHALL BE RAISED 1/32 IN. UPPER CASE, SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 IN. (16 MM) HIGH, BUT NO HIGHER THAN 2 IN. (50 MM). PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6 IN. (152 MM) MINIMUM OF HEIGHT.

**FINISH AND CONTRAST:**  
THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

**MOUNTING LOCATION AND HEIGHT:**  
WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3 IN. (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR. MOUNTING HEIGHT SHALL BE 60 IN. (1525 MM) ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.

**SYMBOLS OF ACCESSIBILITY:**  
FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE BY SECTION 4.1 OF THE ADA A.G. SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

**RDA GROUP ARCHITECTS**  
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Dayton, Ohio 45459  
O: 937.610.3440

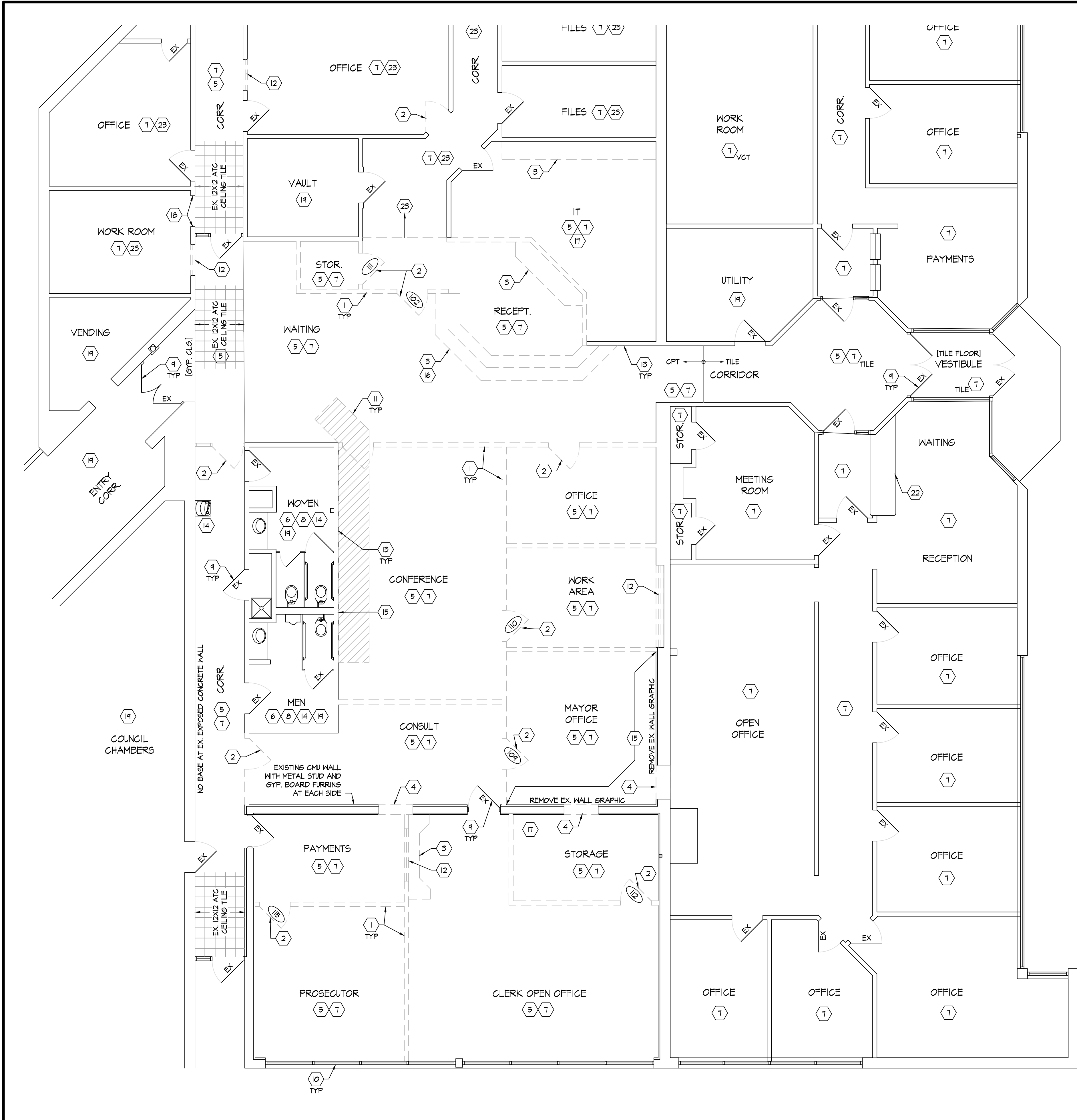
**JONATHAN ROBERT SCHAAF**  
REGISTERED ARCHITECT  
14503  
Expiration Date 12/31/2023

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# Phase I Modernization for: City of Moraine Municipal Building 4200 Dryden Road Moraine, OH 45439

Print Record
03/06/23 Final Review
03/29/23 Bid / Construction Set
Project Number
2020-149
Date
March 29, 2023
Sheet Title
ACCESSIBILITY GUIDELINES
Sheet Number



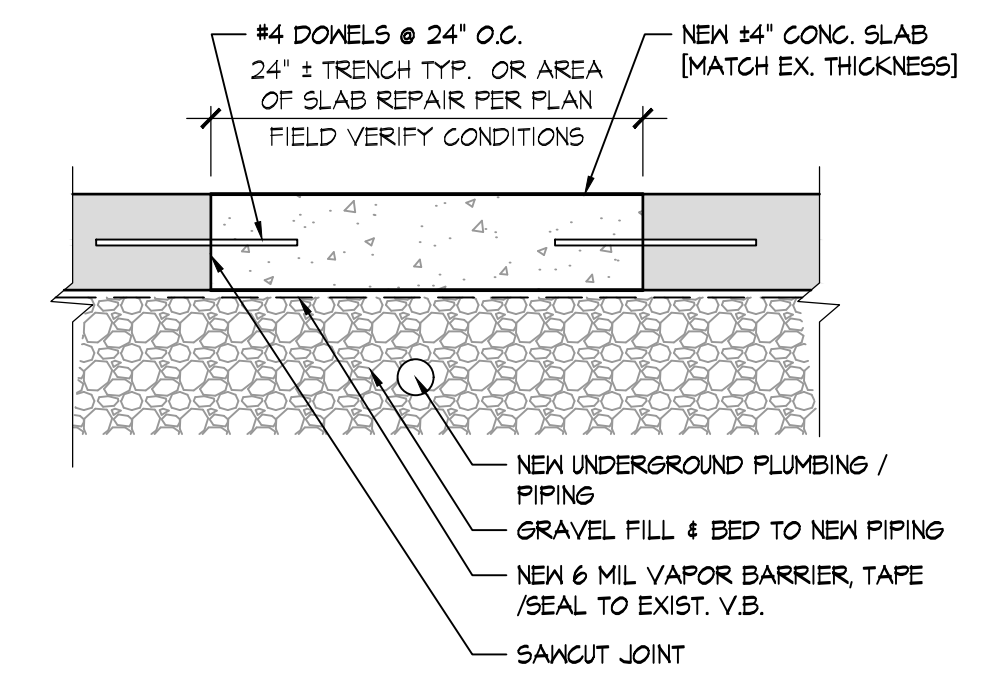


**AREA 'A'**  
**EXISTING / DEMOLITION FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
NORTH

**DEMOLITION GENERAL NOTES**

1. PROVIDE ALL DEMOLITION REQUIRED BY WORK.
2. REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND HARDWARE. PREP FOR REUSE AS APPLICABLE / INDICATED. PROPOSED NEW DOOR LOCATION INDICATED BY DOOR ID TAG. G.C. TO FIELD VERIFY/COORDINATE. COORDINATE W/ OWNER FOR SALVAGE NEEDS OF NON-TAGGED DOORS.
3. REMOVE EXISTING CASEWORK COMPLETE.
4. CUT OPENING IN EXISTING WALL FOR NEW DOOR. REFER TO DOOR SCHEDULE FOR SIZE, PROPOSED PLAN FOR LOCATION. PROVIDE ANY NECESSARY SHORING. REMOVE 8" AT TOP OF FOUNDATION TO ALLOW FOR NEW SLAB FOUR THRU. REFER TO A/A3.1 FOR NEW LINTEL. [EXISTING WALL: CMU WITH METAL STUD / GYP. BOARD FURRING EACH SIDE]
5. REMOVE EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND HVAC DIFFUSERS COMPLETE THIS AREA. EXISTING SPRINKLER SYSTEM AND SECURITY COMPONENTS TO REMAIN. PROVIDE TEMPORARY SUPPORT FOR SECURITY COMPONENTS AS REQUIRED. REFER TO REFLECTED CEILING PLAN.
6. EXISTING CEILING TO REMAIN THIS AREA. REFER TO REFLECTED CEILING PLAN.
7. REMOVE EXISTING FLOOR FINISH / BASE COMPLETE. REFER TO FINISHES PLAN.
8. EXISTING FLOOR / WALL FINISH TO REMAIN - PROTECT.
9. EXISTING DOOR TO REMAIN - COORDINATE WITH PROPOSED PLAN.
10. EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN, TYP.
11. REMOVE EX. CONCRETE SLAB AS REQ'D FOR NEW PLUMBING FIXTURES AND NEW WORK. COORD. WITH PLUMBING DRAWINGS. RESTORE AND INSTALL NEW CONC. SLAB THIS AREA REFER TO DETAIL B/D.1
12. REMOVE EXISTING INTERIOR WINDOW COMPLETE.
13. EX. METAL STUD/ GYP. BD. PARTITIONS TO REMAIN.
14. EX. PLUMBING FIXTURES & ACCESSORIES TO REMAIN.
15. REMOVE EX. WALL COVERING MAINSCOTT AND CHAIR RAIL COMPLETE AT AREA OF EXISTING WALL TO REMAIN
16. REMOVE EX. GYP. BOARD SOFFIT ABOVE.
17. OWNER IS RESPONSIBLE FOR REMOVAL / RELOCATION OF EXISTING IT EQUIP. COORD. WITH OWNER.
18. REMOVE EXISTING DOOR FRAME COMPLETE.
19. NO WORK THIS AREA
20. REMOVE PORTION OF EXISTING CEILING FOR THE INSTALLATION OF NEW SOFFIT. REFER TO REFLECTED CEILING PLAN.
21. NOT USED
22. EXISTING CASEWORK TO REMAIN, PROTECT.
23. REMOVE EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND HVAC DIFFUSERS COMPLETE THIS AREA. SALVAGE EXISTING LIGHT FIXTURE FOR RE-INSTALL. EXISTING SPRINKLER SYSTEM AND SECURITY COMPONENTS TO REMAIN. PROVIDE TEMPORARY SUPPORT FOR SECURITY COMPONENTS AS REQUIRED. REFER TO REFLECTED CEILING DETAILS.

\*\* UNLESS OTHERWISE NOTED  
- EXISTING FLOOR FINISH = CARPET WITH RUBBER BASE  
- EXISTING WALL FINISH = PAINTED GYP. BOARD  
- EXISTING CEILING FINISH = 2x2 ATC



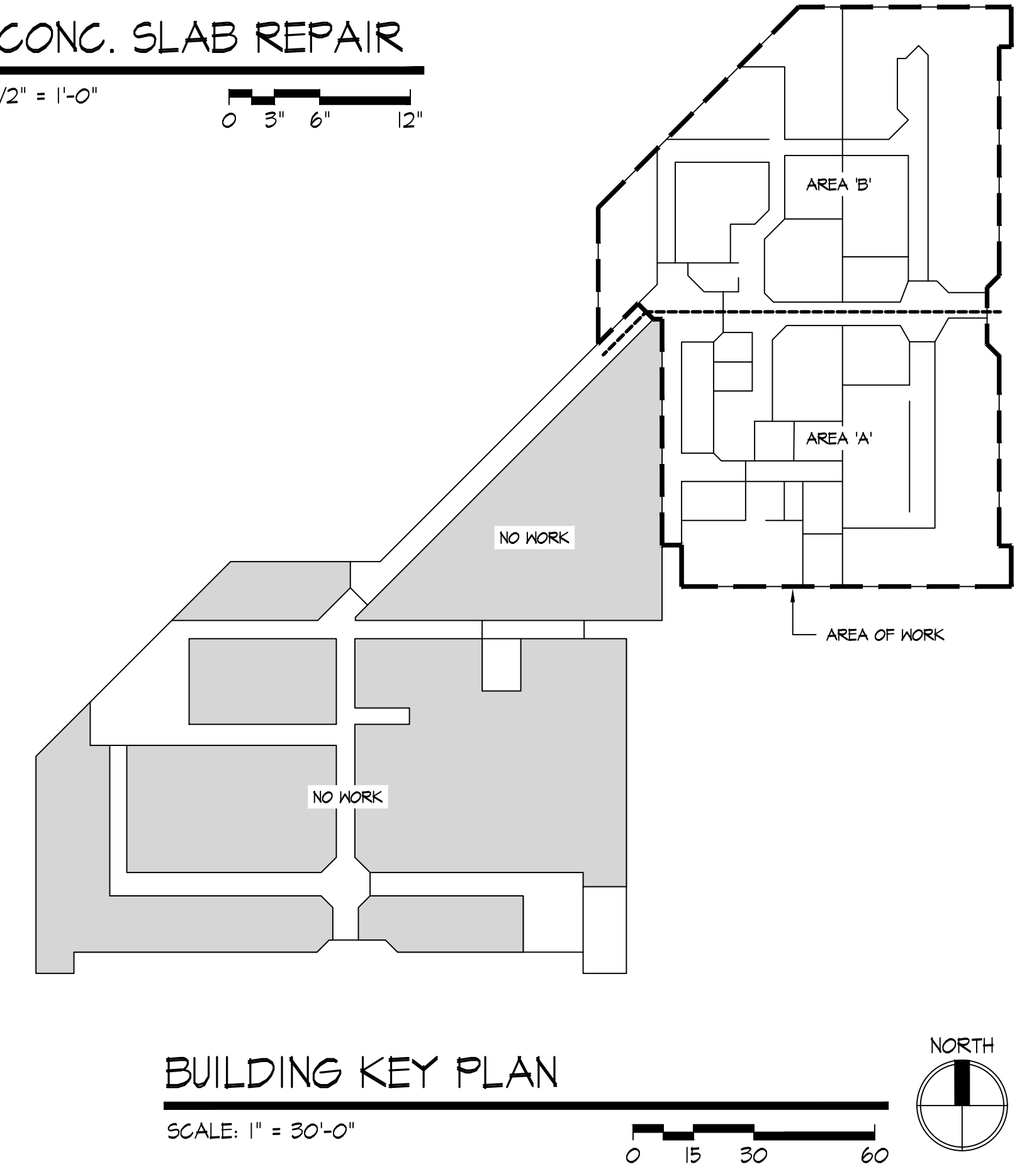
**B** TYP. CONC. SLAB REPAIR  
SCALE: 1 1/2" = 1'-0"  
0 3' 6' 12'

**# DEMOLITION KEY NOTES**

1. REMOVE EXISTING METAL STUD PARTITION WALL AND FINISHES COMPLETE.
2. REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND HARDWARE. PREP FOR REUSE AS APPLICABLE / INDICATED. PROPOSED NEW DOOR LOCATION INDICATED BY DOOR ID TAG. G.C. TO FIELD VERIFY/COORDINATE. COORDINATE W/ OWNER FOR SALVAGE NEEDS OF NON-TAGGED DOORS.
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5. REMOVE EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND HVAC DIFFUSERS COMPLETE THIS AREA. EXISTING SPRINKLER SYSTEM AND SECURITY COMPONENTS TO REMAIN. PROVIDE TEMPORARY SUPPORT FOR SECURITY COMPONENTS AS REQUIRED. REFER TO REFLECTED CEILING PLAN.
6. EXISTING CEILING TO REMAIN THIS AREA. REFER TO REFLECTED CEILING PLAN.
7. REMOVE EXISTING FLOOR FINISH / BASE COMPLETE. REFER TO FINISHES PLAN.
8. EXISTING FLOOR / WALL FINISH TO REMAIN - PROTECT.
9. EXISTING DOOR TO REMAIN - COORDINATE WITH PROPOSED PLAN.
10. EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN, TYP.
11. REMOVE EX. CONCRETE SLAB AS REQ'D FOR NEW PLUMBING FIXTURES AND NEW WORK. COORD. WITH PLUMBING DRAWINGS. RESTORE AND INSTALL NEW CONC. SLAB THIS AREA REFER TO DETAIL B/D.1
12. REMOVE EXISTING INTERIOR WINDOW COMPLETE.
13. EX. METAL STUD/ GYP. BD. PARTITIONS TO REMAIN.
14. EX. PLUMBING FIXTURES & ACCESSORIES TO REMAIN.
15. REMOVE EX. WALL COVERING MAINSCOTT AND CHAIR RAIL COMPLETE AT AREA OF EXISTING WALL TO REMAIN
16. REMOVE EX. GYP. BOARD SOFFIT ABOVE.
17. OWNER IS RESPONSIBLE FOR REMOVAL / RELOCATION OF EXISTING IT EQUIP. COORD. WITH OWNER.
18. REMOVE EXISTING DOOR FRAME COMPLETE.
19. NO WORK THIS AREA
20. REMOVE PORTION OF EXISTING CEILING FOR THE INSTALLATION OF NEW SOFFIT. REFER TO REFLECTED CEILING PLAN.
21. NOT USED
22. EXISTING CASEWORK TO REMAIN, PROTECT.
23. REMOVE EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND HVAC DIFFUSERS COMPLETE THIS AREA. SALVAGE EXISTING LIGHT FIXTURE FOR RE-INSTALL. EXISTING SPRINKLER SYSTEM AND SECURITY COMPONENTS TO REMAIN. PROVIDE TEMPORARY SUPPORT FOR SECURITY COMPONENTS AS REQUIRED. REFER TO REFLECTED CEILING DETAILS.

NOTE: ANY ROOF PENETRATIONS SHALL BE COORDINATED WITH RDA PRIOR TO WORK COMMENCING. CONTRACTOR SHALL CONTRACT WITH COTTERMAN & CO. TO ACCOMPLISH ANY ROOF REPAIR/NEW FLASHING/TIE IN, ETC. ROOF IS CURRENTLY UNDER WARRANTY WITH CARLISLE & ANY WORK MUST BE ACCOMPLISHED FOLLOWING CARLISLE DETAILS.

CONTRACTOR SHALL X-RAY SLAB PRIOR TO ANY SAWCUTTING OF EXISTING SLAB. ANY DAMAGE TO EXISTING UNDERSLAB UTILITIES DURING SAWCUTTING SHALL BE REPAIRED/REPLACED AT CONTRACTORS EXPENSE.



**BUILDING KEY PLAN**  
SCALE: 1" = 30'-0"  
0 15 30 60  
NORTH

**RDA GROUP ARCHITECTS**  
7945 Washington Woods Drive  
Dayton, Ohio 45459  
O: 937.610.3440

STATE OF OHIO  
JONATHAN ROBERT SCHAAF  
14503  
REGISTERED ARCHITECT

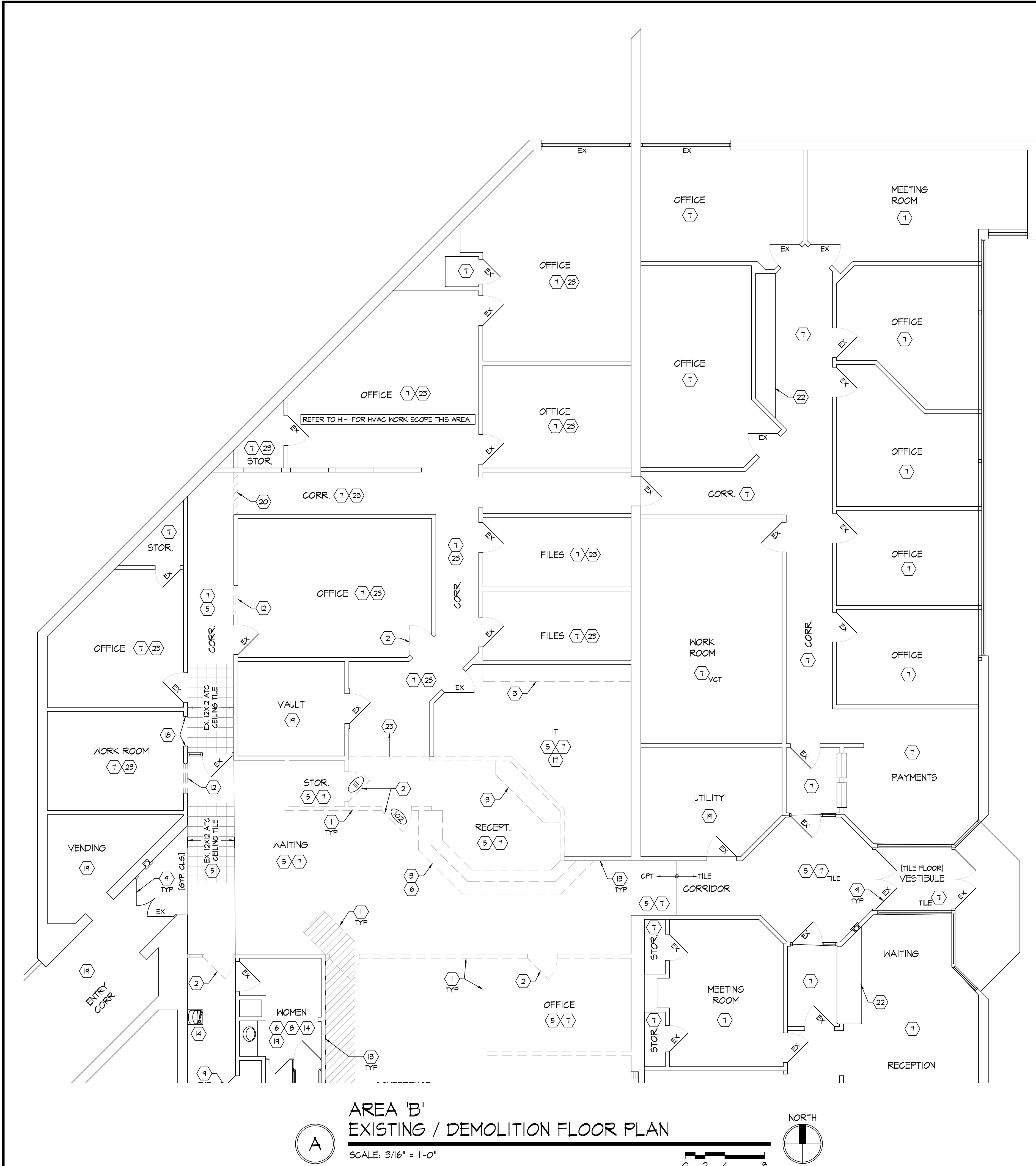
Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2023

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Phase I Modernization for:  
**City of Moraine Municipal Building**  
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Moraine, OH 45439

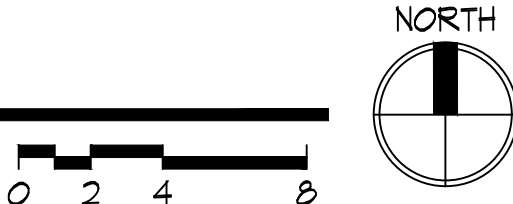
Print Record
03/06/23 Final Review
03/29/23 Bid / Construction Set
Project Number
2020-149
Date
March 29, 2023
Sheet Title
AREA 'A' EXISTING/DEMOLITION FLOOR PLAN
Sheet Number
D1.1





AREA 'B'  
EXISTING / DEMOLITION FLOOR PLAN

SCALE: 3/16" = 1'-0"



EXISTING BUILDING CONSTRUCTION

PRIMARY STRUCTURE: MASONRY BEARING / STEEL FRAME  
EXTERIOR WALLS: MASONRY WITH STONE PANEL VENEER  
EXTERIOR WINDOW SYSTEMS: STOREFRONT WINDOWS  
FLOOR: CONCRETE SLAB ON GRADE THIS AREA  
ROOF: METAL DECK, LOW SLOPE ROOF

HAZARDOUS MATERIALS NOTES

HAZARDOUS MATERIALS MAY EXIST ON THIS PROJECT. IF ANY WORK PERSON ENCOUNTERS ANY MATERIAL WHICH THEY SUSPECT MAY BE HAZARDOUS OR TOXIC, THEY SHALL IMMEDIATELY ADVISE THE OWNER. THE CONTRACTOR SHALL TAKE IMMEDIATE AND APPROPRIATE ACTION TO PROTECT THE BUILDING USERS AND WORKERS IN ACCORDANCE W/ FEDERAL, STATE, AND LOCAL LAWS, CODES AND REGULATIONS. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECTS SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.

1. THE CONTRACTOR IS HEREBY ADVISED THAT RDA GROUP ARCHITECTS, LLC, IS NOT A DESIGN PROFESSIONAL IN THE DETERMINATION OF THE PRESENCE OF HAZARDOUS MATERIALS, NOR IS RDA A DESIGN PROFESSIONAL INVOLVED IN MAKING RECOMMENDATIONS REGARDING THE TESTING, REMOVAL, ENCAPSULATION OR OTHER CORRECTIVE MEASURES PERTAINING TO HAZARDOUS MATERIALS.

2. IF THE WORK, WHICH IS TO BE PERFORMED UNDER THE CONTRACT INTERFACES IN ANY WAY W/ THE EXISTING COMPONENTS WHICH CONTAIN HAZARDOUS MATERIALS, IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE OWNER'S ENVIRONMENTAL CONSULTANT REGARDING THE PROPER MEANS & METHODS TO BE UTILIZED IN DEALING W/ HAZARDOUS MATERIALS.

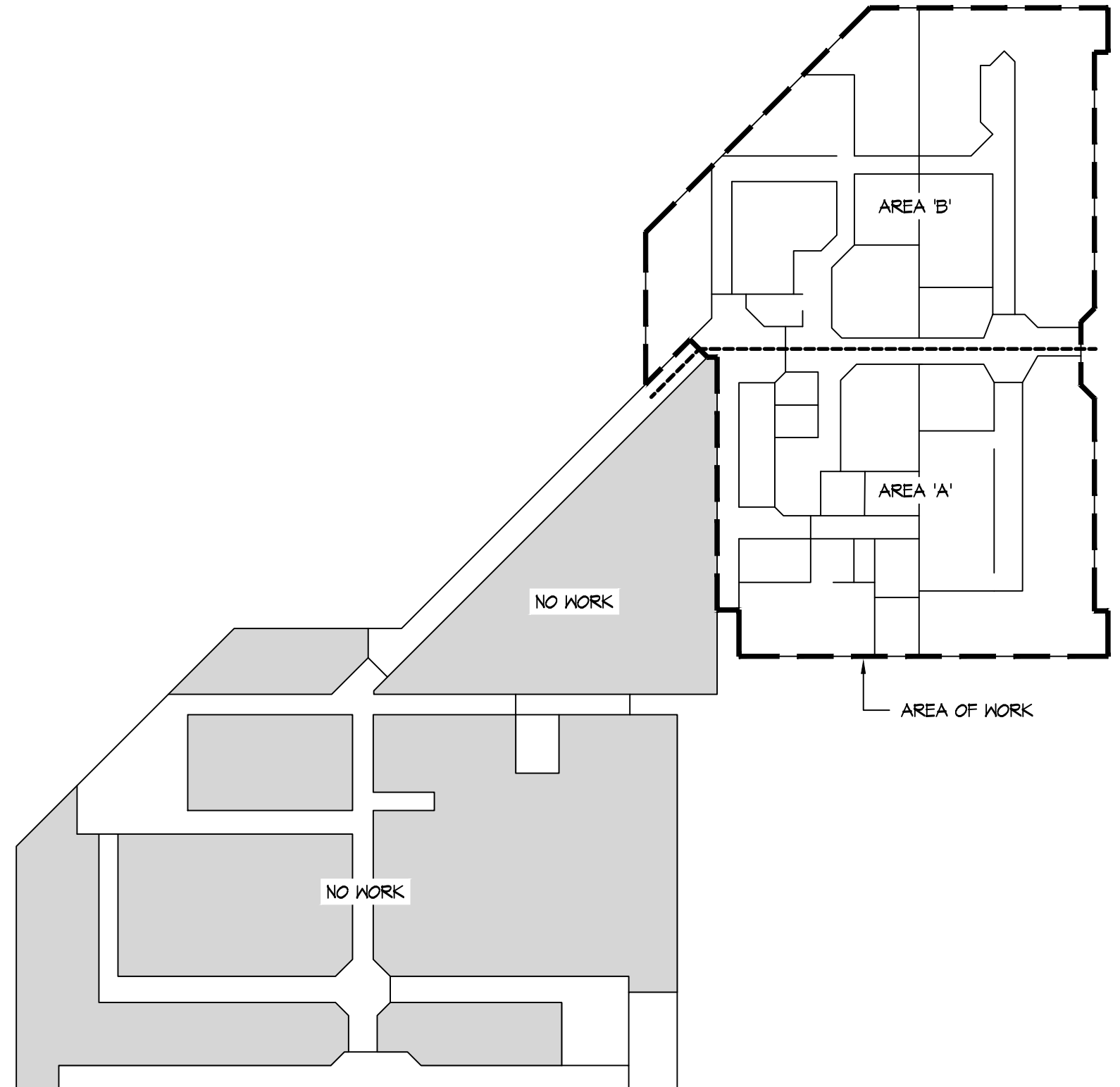
3. BY EXECUTION OF THE CONTRACT FOR CONSTRUCTION, THE CONTRACTOR HEREBY AGREES TO BRING NO CLAIM FOR NEGLIGENCE, BREACH OF CONTRACT, INDEMNITY OR OTHERWISE AGAINST THE ARCHITECT, HIS PRINCIPLES, EMPLOYEES, AGENTS OR CONSULTANTS IF SUCH A CLAIM IN ANY WAY WOULD INVOLVE THE INVESTIGATION OF OR REMEDIAL WORK RELATED TO HAZARDOUS MATERIALS IN THE PROJECT.

4. BY EXECUTION OF THE CONTRACT FOR CONSTRUCTION, THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE ARCHITECT, HIS PRINCIPLES, EMPLOYEES, AGENTS OR CONSULTANTS HARMLESS FROM ANY SUCH ASBESTOS OR OTHER HAZARDOUS MATERIALS RELATED CLAIMS THAT MAY BE BROUGHT BY THE CONTRACTOR'S SUBCONTRACTORS, SUPPLIERS OR OTHER THIRD PARTIES WHO MAY BE ACTING UNDER THE DIRECTION OF THE CONTRACTOR PURSUANT TO THIS PROJECT.

\* NOT ALL NOTES MAY BE USED ON THIS SHEET

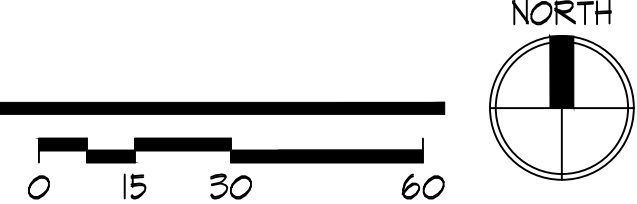
# DEMOLITION KEY NOTES

1. REMOVE EXISTING METAL STUD PARTITION WALL AND FINISHES COMPLETE.
2. REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND HARDWARE. PREP FOR REUSE AS APPLICABLE / INDICATED. PROPOSED NEW DOOR LOCATION INDICATED BY DOOR ID TAG. G.C. TO FIELD VERIFY/COORDINATE. COORDINATE W/ OWNER FOR SALVAGE NEEDS OF NON-TAGGED DOORS.
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5. REMOVE EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND HVAC DIFFUSERS COMPLETE THIS AREA. EXISTING SPRINKLER SYSTEM AND SECURITY COMPONENTS TO REMAIN. PROVIDE TEMPORARY SUPPORT FOR SECURITY COMPONENTS AS REQUIRED. REFER TO REFLECTED CEILING PLAN.
6. EXISTING CEILING TO REMAIN THIS AREA. REFER TO REFLECTED CEILING PLAN.
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8. EXISTING FLOOR / WALL FINISH TO REMAIN - PROTECT.
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21. NOT USED
22. EXISTING CASEWORK TO REMAIN, PROTECT.
23. REMOVE EXISTING CEILING GRID, PADS, LIGHT FIXTURES, AND HVAC DIFFUSERS COMPLETE THIS AREA. SALVAGE EXISTING LIGHT FIXTURE FOR RE-INSTALL. EXISTING SPRINKLER SYSTEM AND SECURITY COMPONENTS TO REMAIN. PROVIDE TEMPORARY SUPPORT FOR SECURITY COMPONENTS AS



BUILDING KEY PLAN

SCALE: 1" = 30'-0"



**RDA GROUP ARCHITECTS**

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STATE OF OHIO

JONATHAN ROBERT SCHAAF  
14503  
REGISTERED ARCHITECT

Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2023

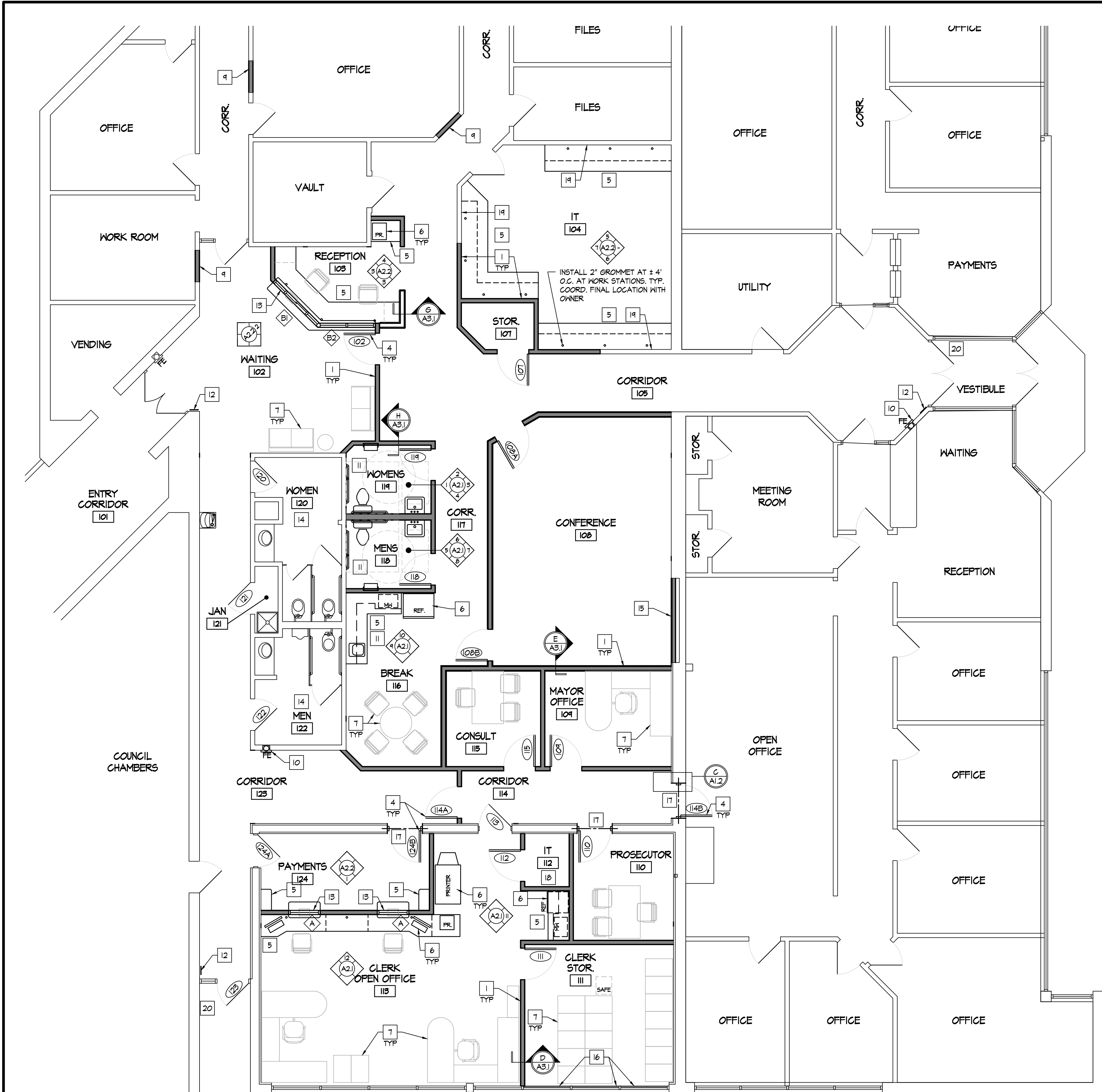
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Phase I Modernization for:  
**City of Moraine Municipal Building**  
4200 Dryden Road  
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D1.2





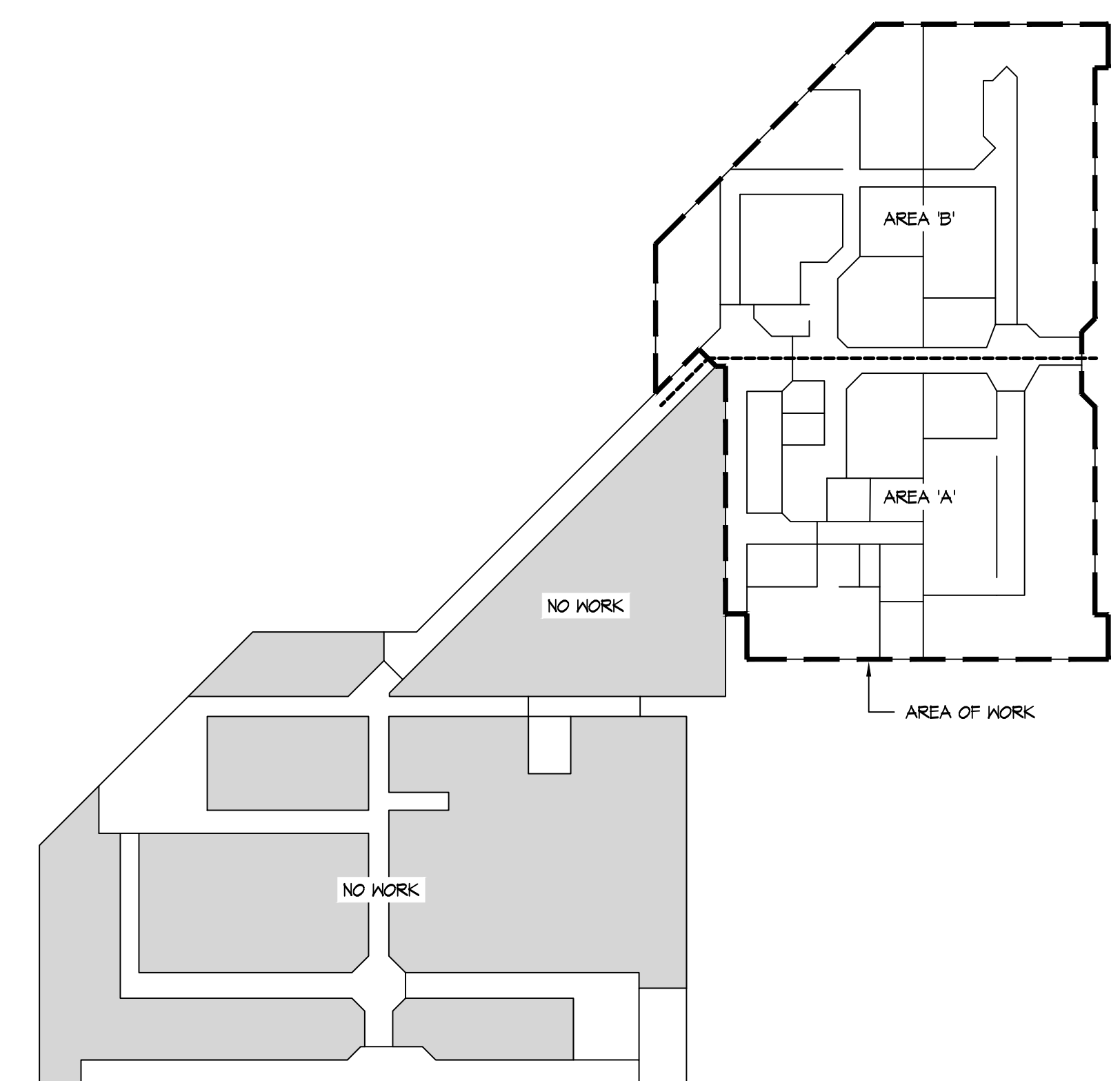
**AREA 'A'**  
**PROPOSED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
NORTH

**GENERAL NOTES**

- COORDINATE ALL ROUGH IN LOCATIONS WITH EQUIPMENT REQUIREMENTS, ETC.
- COORDINATE ANY APPLICABLE FINISHES WITH BUILDING STANDARDS.
- FURNISHINGS, EQUIPMENT AND ACCESSORIES BY OWNER.
- PREP AND PAINT ALL NEW AND EXISTING WALL/CEILING FINISHES THAT REQUIRE PAINT AND ARE NOT PRE-FINISHED. PREP AND PAINT ALL NEW AND EXISTING TRIM/SHELVING, ETC. THAT REQUIRE PAINT. PREP AND PAINT ALL NEW AND EXISTING HOLLOW METAL DOORS/FRAMES, ETC.
- INSTALL NEW FINISH FLOOR AND BASE AT ALL AREAS AS INDICATED. PROVIDE FLOOR LEVELER AND APPLICABLE ADAAG COMPLIANT TRANSITIONS AS REQUIRED BY EXISTING CONDITIONS.
- INSTALL NEW SEALANT AT ALL APPLICABLE INTERIOR JOINTS.
- FIELD COORDINATE EX. FRAMING CONDITIONS & COORDINATE ANY DISCREPANCIES W/ ARCHITECT.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS.
- INSTALL FIRESTOP BLOCKING AT ALL LOCATIONS REQUIRED BY FRAMING, SOFFITS, ETC. TO ELIMINATE ALL OPEN STUD CAVITIES. PROVIDE FIRESTOP BLOCKING AT CEILING LINE AS REQ'D TYPICAL.
- PROVIDE FIRE EXTINGUISHERS/CABINETS AS REQUIRED BY LOCAL FIRE DEPARTMENT.
- COORDINATE WORK WITH APPLICABLE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS. PROVIDE ANY REQUIRED ACCESS PANELS, ETC. TO ACCESS CONCEALED WORK.
- DIMENSIONS  
A. DIMENSIONS ARE TO FACE OF EXISTING FINISHES AND TO FACE OF STUD FOR NEW WALL FRAMING.  
B. INTERIOR METAL STUD PARTITIONS ARE 3-5/8" UNLESS NOTED OTHERWISE.  
C. DO NOT SCALE DRAWINGS.  
D. REFER TO DRAWING NOTES AND DETAILS FOR ANY SPECIAL NOTES THAT GOVERN LAYOUT.
- LAYOUT  
A. LOCATE JAMBS MINIMUM OF 4" FROM CORNER TO OUTSIDE EDGE OF FRAME WHERE POSSIBLE EXCEPT WHERE NOTED OTHERWISE.  
B. MAINTAIN ALL MANEUVERING CLEARANCE FOR ALL DOORS PER "MANEUVERING CLEARANCES AT DOORS" DIAGRAM BASED UPON FIGURE 404.2.3.2 ANSI. COORDINATE ALL CONFLICTS WITH THE ARCHITECT.
- ADJUSTMENTS  
A. CAULK ALL OPEN JOINTS, INCLUDING GAPS BETWEEN COUNTERTOPS, CABINETS, FRAMES, TRIM, AND WALLS. FILL ALL JOINTS SLIGHTLY CONCAVE.  
B. LUBRICATE AND ADJUST ALL OPERATING MECHANISMS, INCLUDING DOOR HARDWARE, FOR SMOOTH OPERATION.  
C. PATCH AND REPAIR ALL CEILINGS, WALLS, MULLIONS, HVAC ENCLOSURES, AND SILLS WHERE REQUIRED.
- FINISHES: REFER TO FINISH PLANS/SCHEDULES. COORDINATE ALL WITH OWNER AS APPLICABLE.
- PROVIDE WOOD BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED ITEMS, CASEWORK, COUNTERTOPS, TOILET ACCESSORIES, DOOR STOPS, AND AS SPECIFICALLY NOTED. CONCEAL ALL BLOCKING IN WALLS. BLOCKING SHALL BE A MINIMUM OF 2X8 [ALL BLOCKING SHALL BE FIRE RETARDANT TREATED]. FIELD COORDINATE.
- PATCH ALL EX. WALLS AS REQ'D INCLUDING SCARS FROM DEMOLITION, NEW WIRING BLOCKING, ETC. TO LIKE NEW CONDITION. MATCH ADJACENT AS APPLICABLE.

**NEW CONSTRUCTION KEY NOTES**

- NEW METAL STUD FRAME WALL W/ GYPSUM BOARD FINISHES. REFER TO WALL TYPES ON SHEET A1.3.
- NOT USED
- NOT USED
- NEW / SALVAGED DOOR, FRAME, AND HARDWARE, TYP. REFER TO DOOR SCHEDULE.
- NEW CASEWORK, REFER TO INTERIOR ELEVATIONS / DETAILS. PROVIDE FRT BLOCKING.
- EQUIPMENT BY OWNER, TYP. (PROVIDE BLOCKING FOR WALL MOUNTED ITEMS, TYP.)
- FURNISHINGS BY OWNER, TYP.
- NOT USED
- INFILL OPENINGS IN METAL STUD WALL. MATCH IN LIKE KIND / FINISH FLUSH TO PROVIDE A UNIFORM FINISH.
- INSTALL NEW SEMI RECESSED FIRE EXTINGUISHER CABINET. COORDINATE FINAL LOCATION WITH FIRE DEPARTMENT AS APPLICABLE.
- NEW PLUMBING FIXTURES AND ACCESSORIES. REFER TO INTERIOR ELEVATIONS. EXTEND SUPPLY/SANITARY PIPING FROM EXISTING. REFER TO P/M/E DRAWINGS.
- INSTALL TACTILE EXIT SIGN ADJACENT TO ALL EGRESS DOORS, TYP.
- NEW BALLISTIC INTERIOR TRANSACTION WINDOW. INSTALL NEW TRANSACTION COUNTERTOP. REFER TO WINDOW SCHEDULE AND INTERIOR ELEVATIONS.
- EXISTING TOILET ROOM - PLUMBING FIXTURES & ACCESSORIES TO REMAIN.
- INFILL OPENING W/ 3 5/8" METAL STUDS AT 16" O.C., 3" SOUND BATT INSULATION, AND [2] LAYERS OF 5/8" NOISE REDUCING GYPSUM BOARD.
- INSTALL 3M BLACKOUT FILM ON INTERIOR FACE OF EXISTING GLAZING SYSTEM. REFER TO B/A1.2.
- INSTALL NEW LINTEL AT NEW DOOR OPENING. REFER TO DETAIL A/A3.1. - PROVIDE GYP. BOARD RETURNS AT NEW H.M. DOOR FRAME.
- PROVIDE 3/4" THICK 4x4' FRT PLYWOOD BACK BOARD FOR IT EQUIPMENT. COORD. MOUNTING LOCATION WITH OWNER.
- CUT / PATCH EXIST GYP. BOARD TO ALLOW FOR INSTALL OF FRT BLOCKING FOR WALL MOUNTED SHELVING AT EXISTING WALLS, TYP.
- CARD READER ACCESS TO BE PROVIDED AT EXISTING DOOR. COORD. WITH OWNER'S SECURITY CONSULTANT [ISM].



**BUILDING KEY PLAN**  
SCALE: 1" = 30'-0"  
NORTH

**RDA GROUP ARCHITECTS**  
7945 Washington Woods Drive  
Dayton, Ohio 45459  
O: 937.610.3440

STATE OF OHIO  
JONATHAN ROBERT SCHAAF  
14503  
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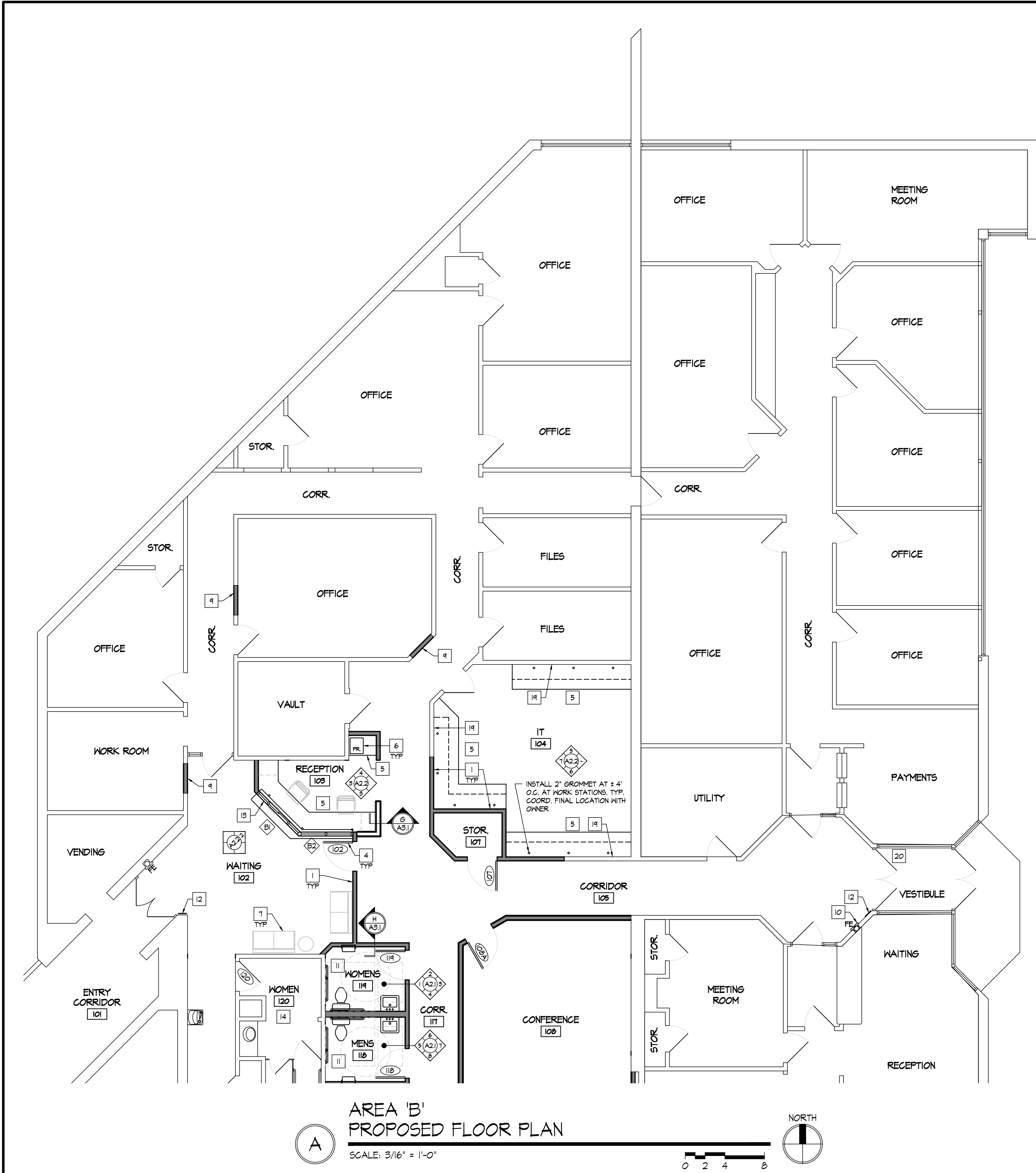
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Phase I Modernization for:  
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4200 Dryden Road  
Moraine, OH 45439

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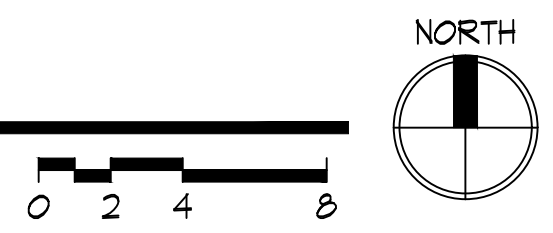




A

AREA 'B'  
PROPOSED FLOOR PLAN

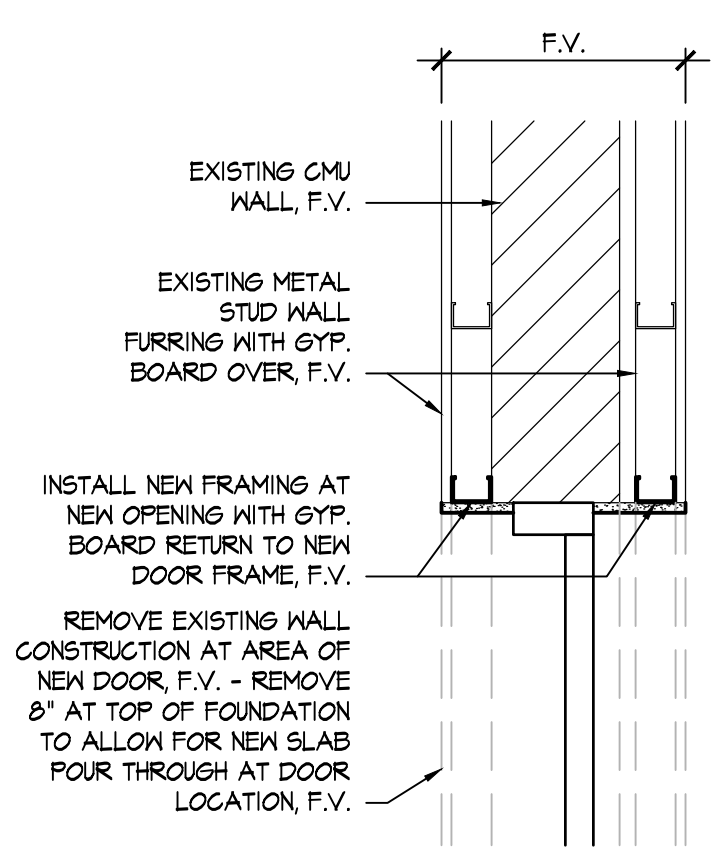
SCALE: 3/16" = 1'-0"



C

PLAN DETAIL AT DOOR

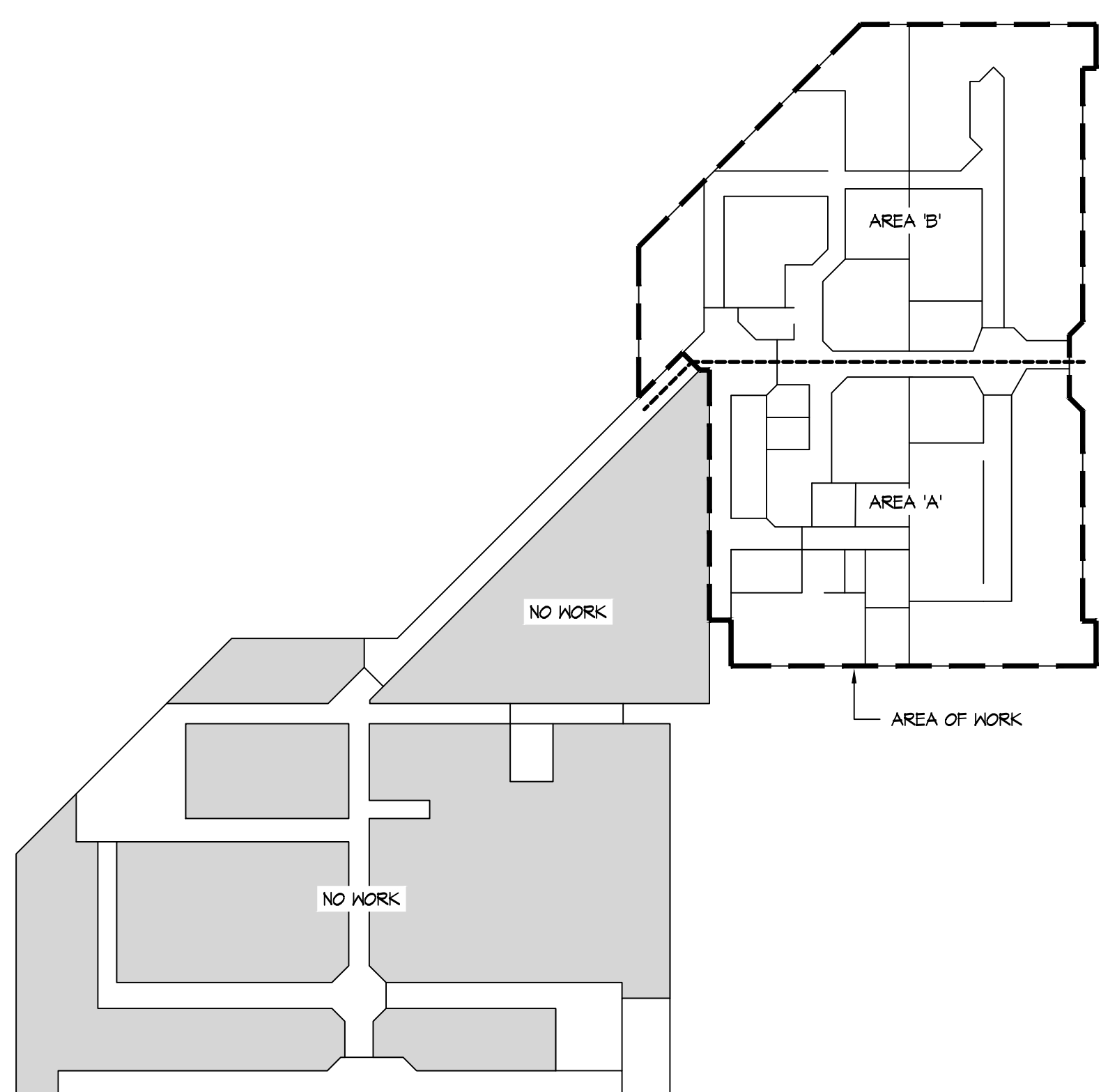
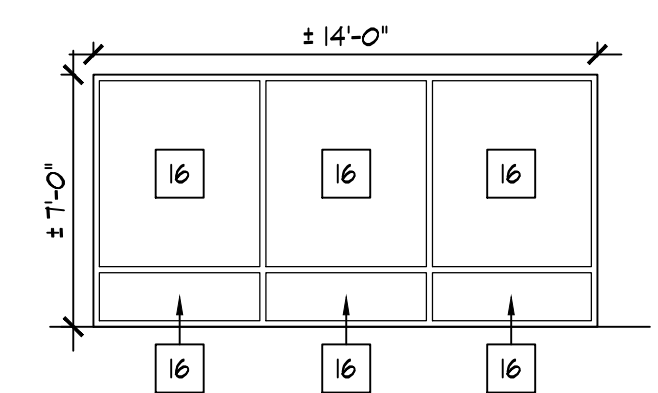
SCALE: 1" = 1'-0"



B

GLAZING ELEVATION

SCALE: 3/16" = 1'-0"



BUILDING KEY PLAN

SCALE: 1" = 30'-0"

# NEW CONSTRUCTION KEY NOTES

1. NEW METAL STUD FRAME WALL W/ GYPSUM BOARD FINISHES. REFER TO WALL TYPES ON SHEET A1.3.
2. NOT USED
3. NOT USED
4. NEW / SALVAGED DOOR, FRAME, AND HARDWARE, TYP. REFER TO DOOR SCHEDULE.
5. NEW CASEWORK, REFER TO INTERIOR ELEVATIONS / DETAILS, PROVIDE FRT BLOCKING.
6. EQUIPMENT BY OWNER, TYP. (PROVIDE BLOCKING FOR WALL MOUNTED ITEMS, TYP.)
7. FURNISHINGS BY OWNER, TYP.
8. NOT USED
9. INFILL OPENING IN METAL STUD WALL. MATCH IN LIKE KIND / FINISH FLUSH TO PROVIDE A UNIFORM FINISH.
10. INSTALL NEW SEMI RECESSED FIRE EXTINGUISHER CABINET. COORDINATE FINAL LOCATION WITH FIRE DEPARTMENT AS APPLICABLE.
11. NEW PLUMBING FIXTURES AND ACCESSORIES. REFER TO INTERIOR ELEVATIONS. EXTEND SUPPLY/SANITARY PIPING FROM EXISTING. REFER TO P/M/E DRAWINGS
12. INSTALL TACTILE EXIT SIGN ADJACENT TO ALL EGRESS DOORS, TYP.
13. NEW BALLISTIC INTERIOR TRANSACTION WINDOW, INSTALL NEW TRANSACTION COUNTERTOP. REFER TO WINDOW SCHEDULE AND INTERIOR ELEVATIONS.
14. EXISTING TOILET ROOM - PLUMBING FIXTURES & ACCESSORIES TO REMAIN.
15. INFILL OPENING W/ 3 5/8" METAL STUDS AT 16" O.C., 3" SOUND BATT INSULATION, AND [2] LAYERS OF 5/8" NOISE REDUCING GYPSUM BOARD.
16. INSTALL 3M BLACKOUT FILM ON INTERIOR FACE OF EXISTING GLAZING SYSTEM. REFER TO B/A1.2.
17. INSTALL NEW LINTEL AT NEW DOOR OPENING. REFER TO DETAIL A/A3.1. - PROVIDE GYP. BOARD RETURNS AT NEW H.M. DOOR FRAME.
18. PROVIDE 3/4" THICK 4x4' FRT PLYWOOD BACK BOARD FOR IT EQUIPMENT. COORD. MOUNTING LOCATION WITH OWNER.
19. CUT / PATCH EXIST GYP. BOARD TO ALLOW FOR INSTALL OF FRT BLOCKING FOR WALL MOUNTED SHELVING AT EXISTING WALLS, TYP.
20. CARD READER ACCESS TO BE PROVIDED AT EXISTING DOOR. COORD. WITH OWNER'S SECURITY CONSULTANT [ISM].

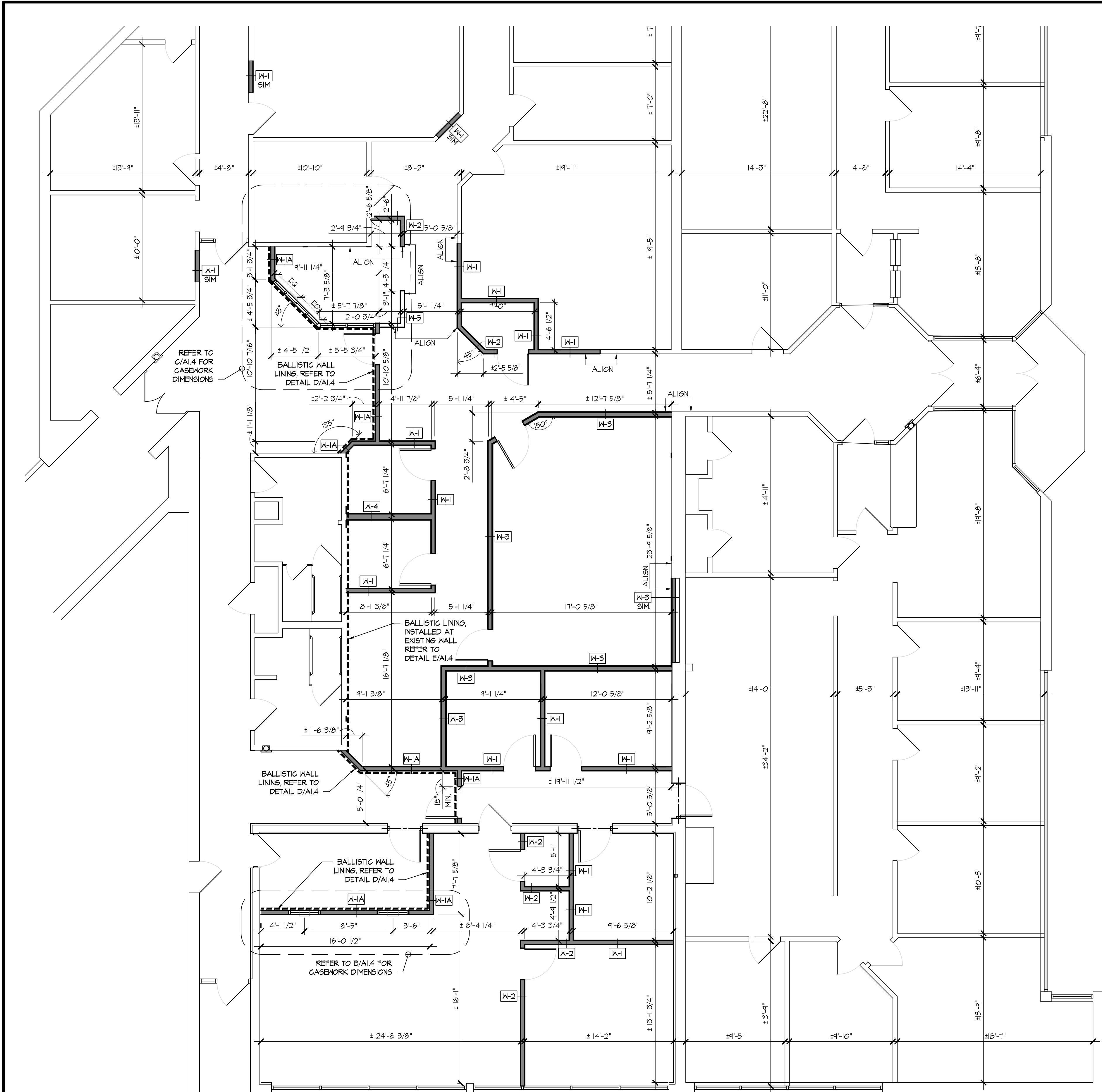
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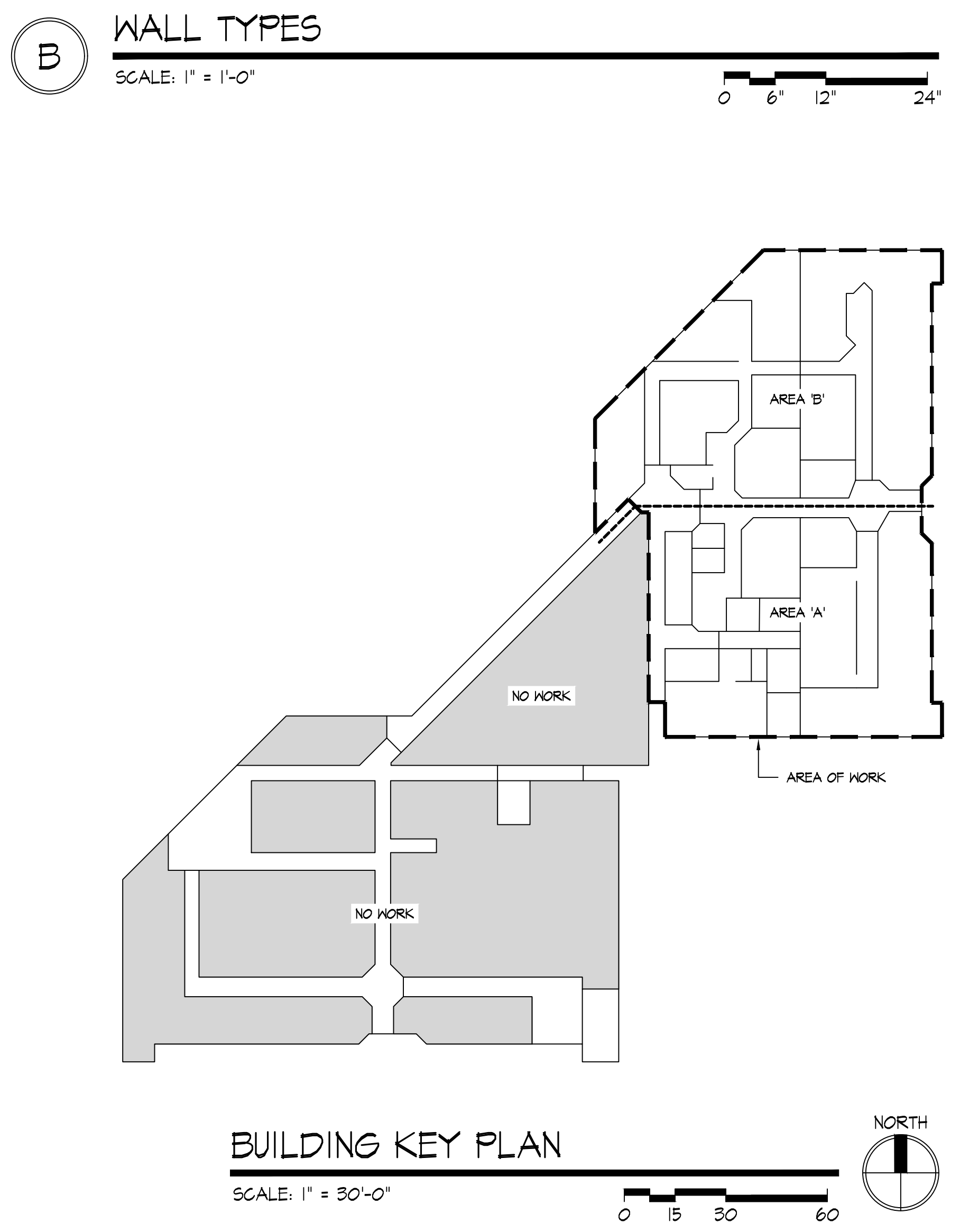
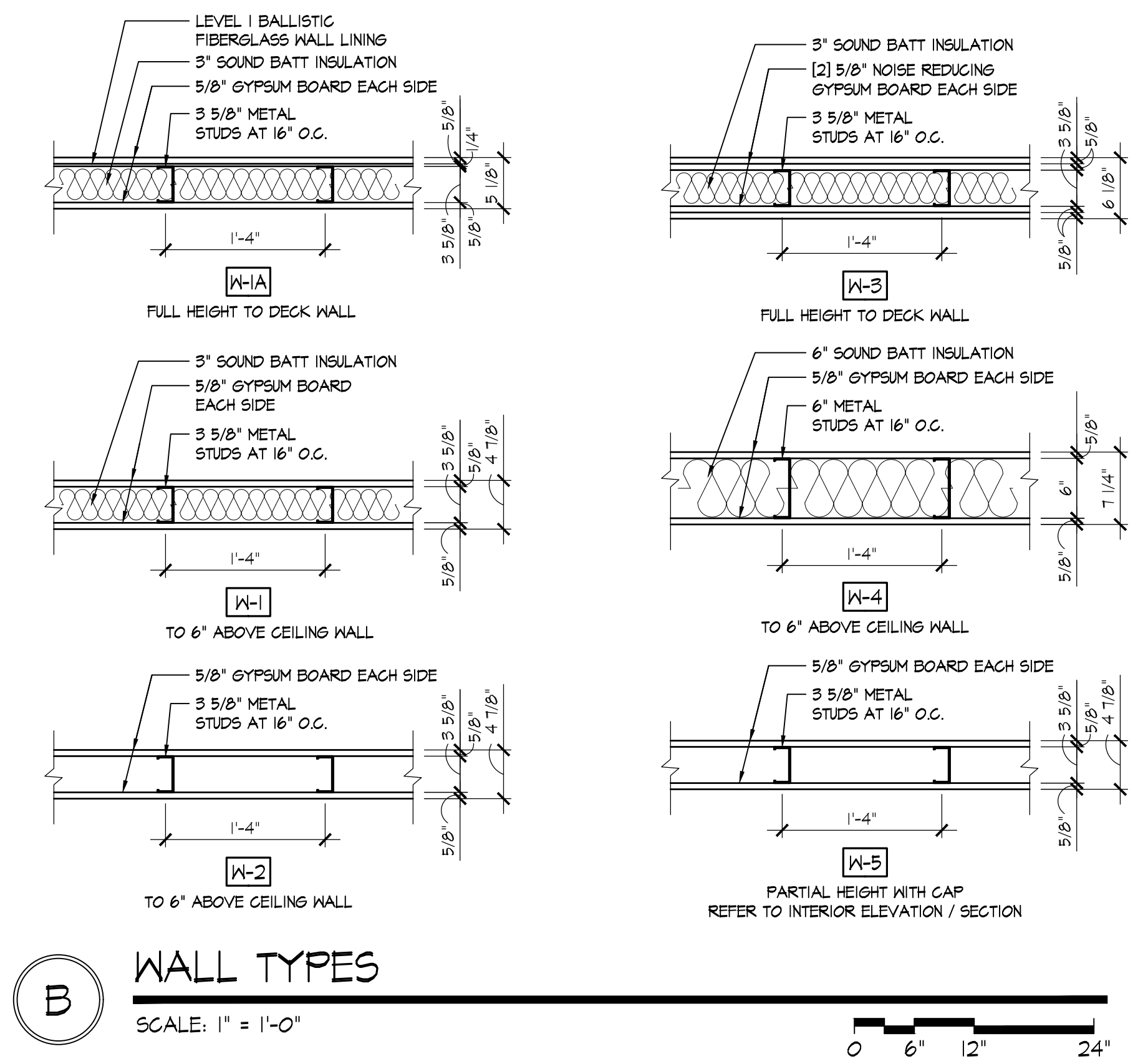
Phase I Modernization for:  
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4200 Dryden Road  
Moraine, OH 45439

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AREA 'B' PROPOSED FLOOR PLAN
Sheet Number
A1.2





**AREA 'A'**  
**DIMENSIONED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
NORTH



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JONATHAN ROBERT SCHAAF  
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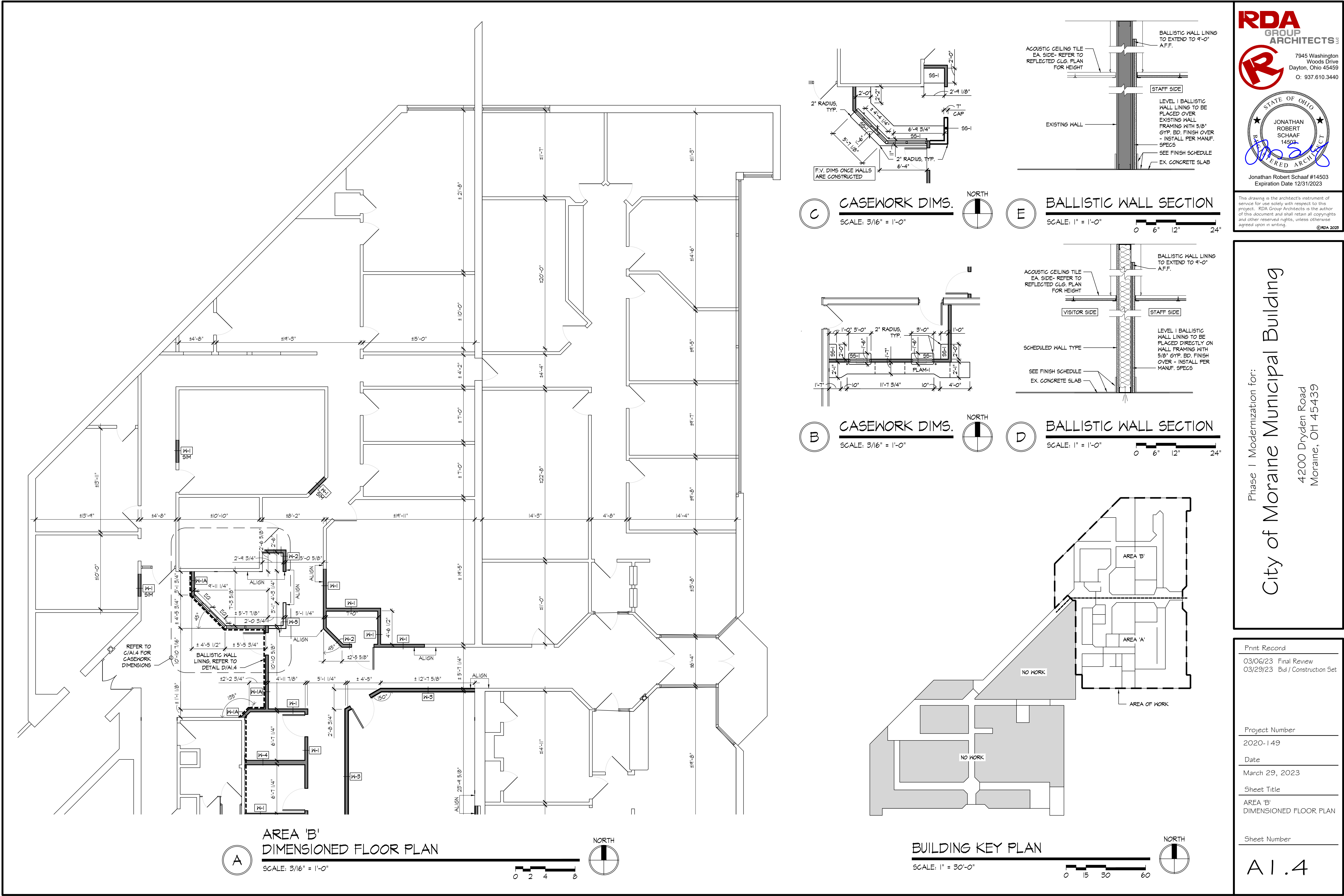
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Sheet Number
A1.3





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Phase I Modernization for:

**City of Moraine Municipal Building**

4200 Dryden Road  
Moraine, OH 45439

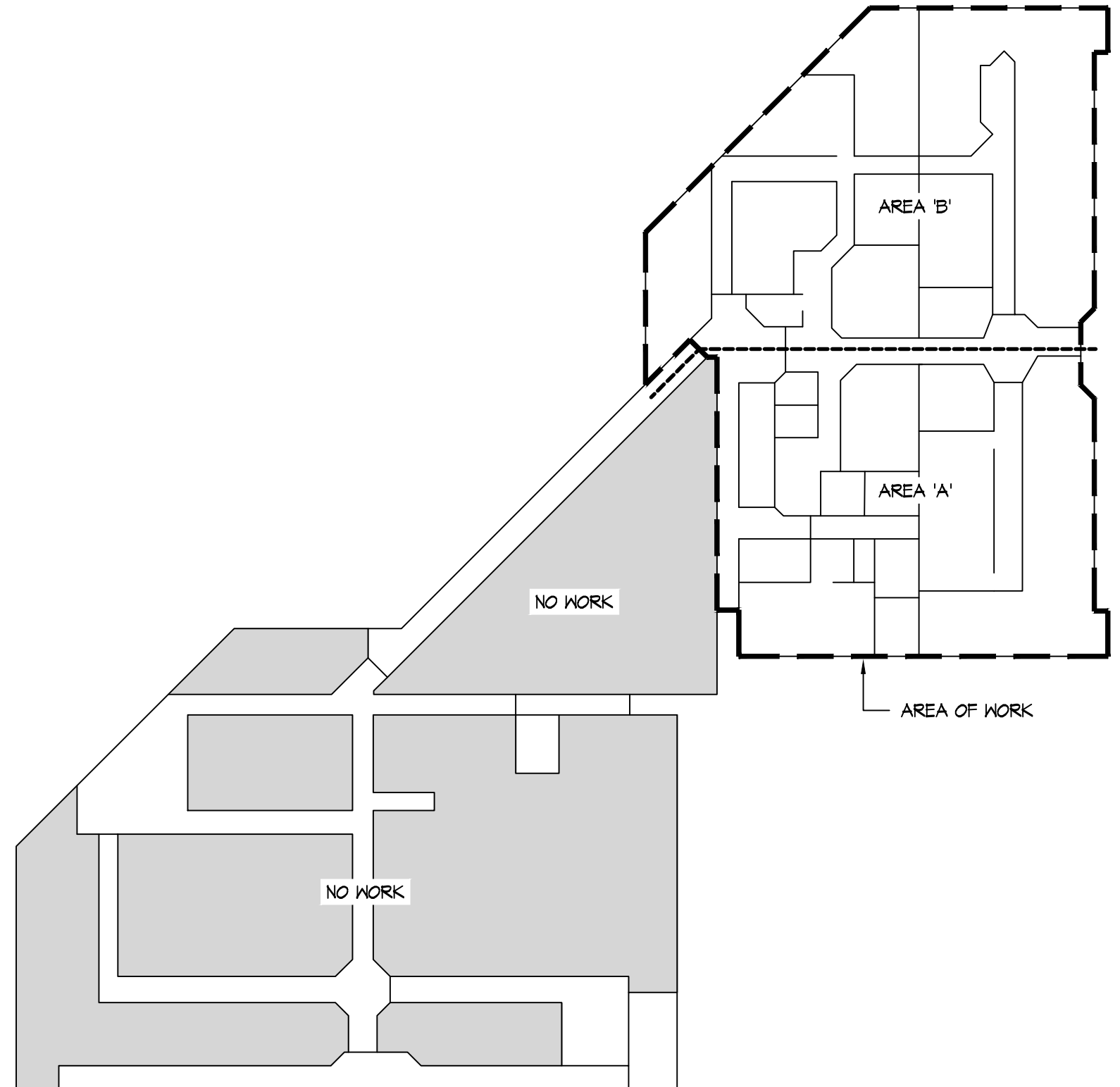
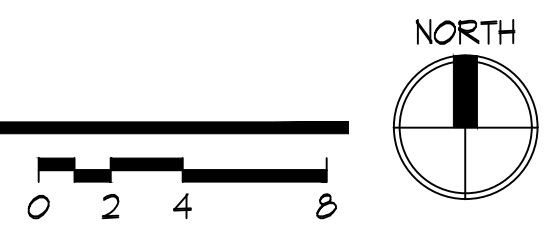
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AREA 'B' DIMENSIONED FLOOR PLAN
Sheet Number
A1.4





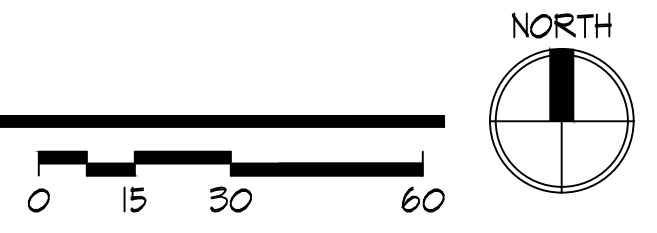
AREA 'A'  
REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"



BUILDING KEY PLAN

SCALE: 1" = 30'-0"



REFLECTED CEILING GENERAL NOTES

1. REFER TO WALL TYPES ON FLOOR PLAN.
2. REFER TO PLAN FOR CEILING HEIGHTS, TYP.
3. THE GENERAL CONTRACTOR SHALL COORDINATE THE ACOUSTICAL TILE CEILING LAYOUT AND ORIENTATION WITH THE ELECTRICAL/LIGHTING/FIRE SUPPRESSION DRAWINGS AND HVAC SUPPLY / RETURN DIFFUSER LOCATIONS. COORDINATE CONFLICTS WITH THE ARCHITECT.
4. ANY LIGHTING INDICATED ON THE REFLECTED CEILING PLAN AND ELSEWHERE ON THE ARCHITECTURAL DRAWINGS SHALL BE COORDINATED WITH THE ELECTRICAL DRAWINGS. ELECTRICAL AND MECHANICAL DRAWINGS TAKE PRECEDENCE OVER THE ARCHITECTURAL DRAWINGS.
5. COORDINATE LIGHT FIXTURES TO BE CONNECTED TO EMERGENCY LIGHTING CIRCUIT.
6. ALL SWITCHING SHALL BE COORDINATED WITH ELECTRICAL DRAWINGS. COORDINATE REQUIRED SWITCH LOCATIONS.
7. MODIFY EX. FIRE SPRINKLER SYSTEM TO SUIT LAYOUT - DELEGATED DESIGN - COORD. WITH FPI-I
8. REFER TO H-I-I FOR REQUIRED ABOVE CEILING WALL PENETRATIONS FOR PLENUM RETURN

REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

ATC SPECIFICATIONS:  
ATC #: 2x2 ARMSTRONG  
CORTEGA 104 ANGLED TEGULAR OR APPROVED EQUAL

GRID/SUSPENSION SYSTEM:  
ARMSTRONG PRELUDE 15/16" SUSPENSION SYSTEM SUPPORTED FROM DECK/STRUCTURE ABOVE.

REFLECTED CEILING PLAN KEY NOTES

1. ACOUSTICAL TILE CEILING (ATC-I) AT HEIGHT INDICATED.
2. GYPSUM BOARD BULKHEAD AT HEIGHT INDICATED.
3. HVAC GRILL / DIFFUSER / CASSETTE, REFER TO MECHANICAL DRAWINGS.
4. EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.
5. LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS.
6. EXISTING TO REMAIN - NO WORK UNLESS NOTED OTHERWISE
7. REMOVE / REPLACE EXISTING CEILING AS NEEDED IN THIS AREA FOR INSTALLATION OF NEW DOOR. MATCH EXISTING IN LIKE KIND.
8. EXISTING GYP. BOARD SOFFIT TO REMAIN - PAINT.
9. APPROXIMATE LOCATION OF NEW RTU. COORDINATE WITH MECHANICAL DRAWINGS.
10. GYPSUM BOARD CEILING AT HEIGHT INDICATED.
11. EXISTING SKYLIGHT TO REMAIN.
12. GYPSUM BOARD BULKHEAD AT HEIGHT INDICATED. REFER TO SECTION 9/A2.5.

SYMBOL LEGEND

- ACOUSTIC TILE CEILING, HEIGHT AS INDICATED
- GYPSUM BOARD CEILING, HEIGHT AS INDICATED
- 2X4/2X2 LIGHT FIXTURE - COORD. W/ ELEC. DRAWINGS  
N=NEW, E=EXISTING, R=RELOCATED
- RECESSED CAN LT. FIXTURE  
COORD. WITH ELECTRICAL DRAWINGS
- 2' / 4' SURFACE MOUNT STRIP LIGHT FIXTURE  
COORD. WITH ELECTRICAL DRAWINGS
- NIGHT LIGHT - COORD. W/ ELEC. DRAWINGS
- EXIT SIGN  
COORD. WITH ELECTRICAL DRAWINGS
- HVAC DIFFUSERS, REFER TO MECHANICAL DWG.
- EXHAUST FAN - VENT DIRECT TO EXTERIOR -  
COORDINATE WITH HVAC DRAWINGS BY OTHERS

**RDA GROUP ARCHITECTS**

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Expiration Date 12/31/2023

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Phase I Modernization for:  
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Print Record

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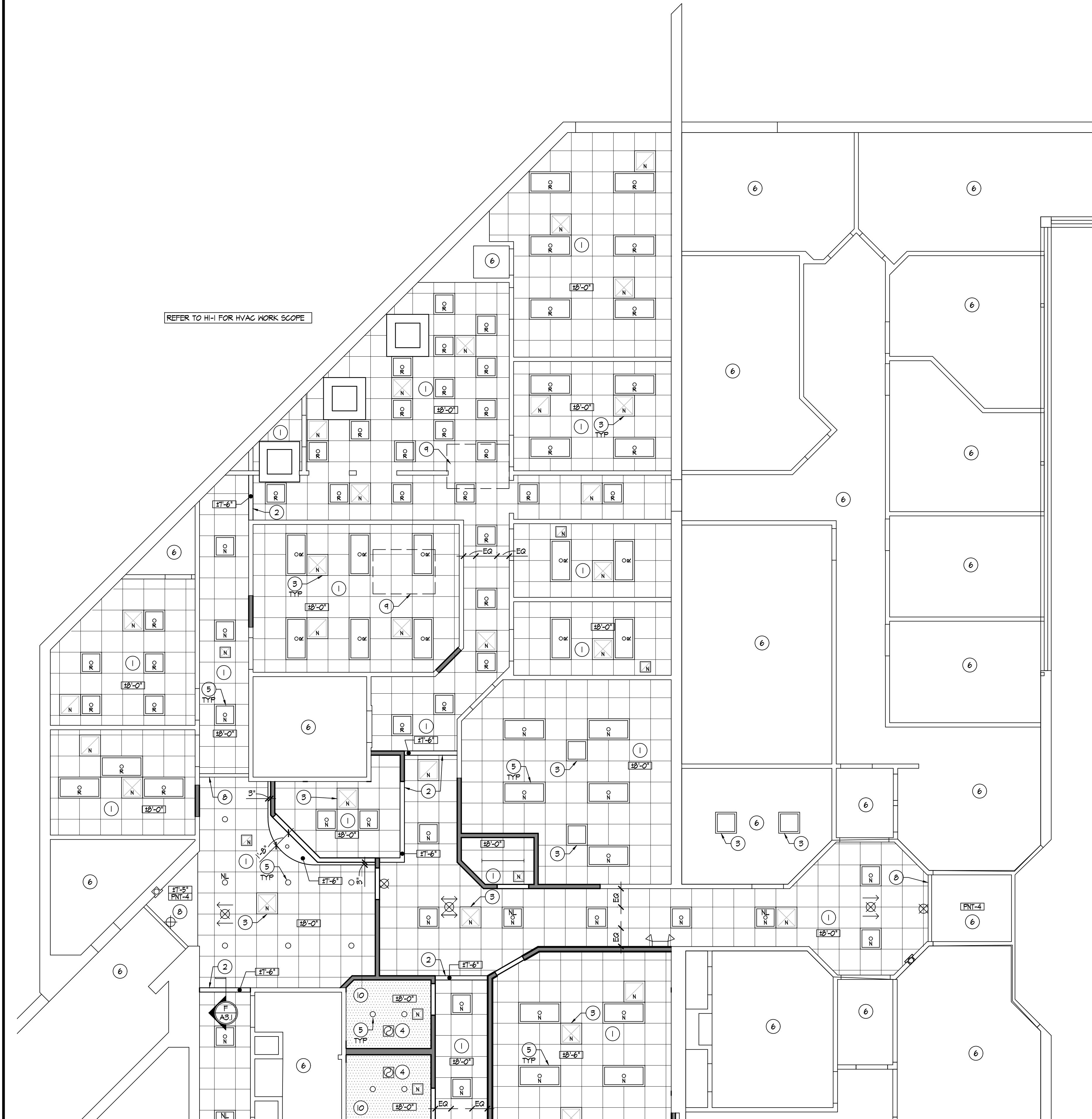
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Sheet Title  
AREA 'A'  
REFLECTED CEILING PLAN

Sheet Number  
**A1.5**





REFER TO H-1 FOR HVAC WORK SCOPE

### REFLECTED CEILING GENERAL NOTES

1. REFER TO WALL TYPES ON FLOOR PLAN.
2. REFER TO PLAN FOR CEILING HEIGHTS, TYP.
3. THE GENERAL CONTRACTOR SHALL COORDINATE THE ACOUSTICAL TILE CEILING LAYOUT AND ORIENTATION WITH THE ELECTRICAL/LIGHTING/FIRE SUPPRESSION DRAWINGS AND HVAC SUPPLY / RETURN DIFFUSER LOCATIONS. COORDINATE CONFLICTS WITH THE ARCHITECT.
4. ANY LIGHTING INDICATED ON THE REFLECTED CEILING PLAN AND ELSEWHERE ON THE ARCHITECTURAL DRAWINGS SHALL BE COORDINATED WITH THE ELECTRICAL DRAWINGS. ELECTRICAL AND MECHANICAL DRAWINGS TAKE PRECEDENCE OVER THE ARCHITECTURAL DRAWINGS.
5. COORDINATE LIGHT FIXTURES TO BE CONNECTED TO EMERGENCY LIGHTING CIRCUIT.
6. ALL SWITCHING SHALL BE COORDINATED WITH ELECTRICAL DRAWINGS. COORDINATE REQUIRED SWITCH LOCATIONS.
7. MODIFY EX. FIRE SPRINKLER SYSTEM TO SUIT LAYOUT - DELEGATED DESIGN - COORD. WITH FPI-1
8. REFER TO H-1 FOR REQUIRED ABOVE CEILING WALL PENETRATIONS FOR PLENUM RETURN

REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

ATC SPECIFICATIONS:  
ATC #: 2x2 ARMSTRONG  
CORTEGA 104 ANGLED TEGULAR OR APPROVED EQUAL

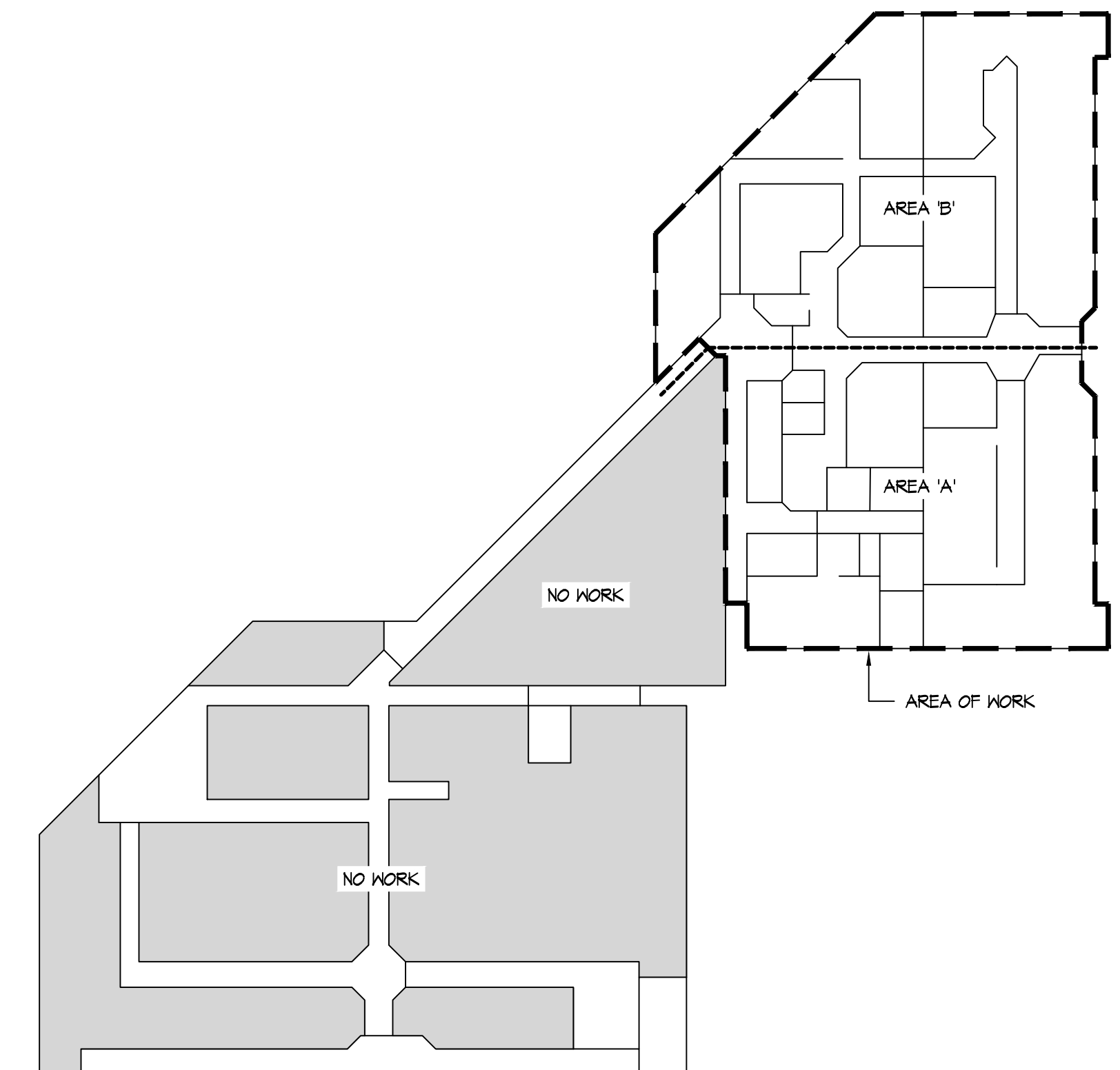
GRID/SUSPENSION SYSTEM:  
ARMSTRONG PRELUDE 15/16" SUSPENSION SYSTEM SUPPORTED FROM DECK/STRUCTURE ABOVE.

### REFLECTED CEILING PLAN KEY NOTES

1. ACOUSTICAL TILE CEILING (ATC-I) AT HEIGHT INDICATED.
2. GYPSUM BOARD BULKHEAD AT HEIGHT INDICATED.
3. HVAC GRILL / DIFFUSER / CASSETTE, REFER TO MECHANICAL DRAWINGS.
4. EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.
5. LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS.
6. EXISTING TO REMAIN - NO WORK UNLESS NOTED OTHERWISE
7. REMOVE / REPLACE EXISTING CEILING AS NEEDED IN THIS AREA FOR INSTALLATION OF NEW DOOR. MATCH EXISTING IN LIKE KIND.
8. EXISTING GYP. BOARD SOFFIT TO REMAIN - PAINT.
9. APPROXIMATE LOCATION OF NEW RTU. COORDINATE WITH MECHANICAL DRAWINGS.
10. GYPSUM BOARD CEILING AT HEIGHT INDICATED.
11. EXISTING SKYLIGHT TO REMAIN.

### SYMBOL LEGEND

- ACOUSTIC TILE CEILING, HEIGHT AS INDICATED
- GYPSUM BOARD CEILING, HEIGHT AS INDICATED
- 2x4/2x2 LIGHT FIXTURE - COORD. W/ ELEC. DRAWINGS  
N=NEW, E=EXISTING, R=RELOCATED
- RECESSED CAN LT. FIXTURE  
COORD. WITH ELECTRICAL DRAWINGS
- 2' / 4' SURFACE MOUNT STRIP LIGHT FIXTURE  
COORD. WITH ELECTRICAL DRAWINGS
- NIGHT LIGHT - COORD. W/ ELEC. DRAWINGS
- EXIT SIGN  
COORD. WITH ELECTRICAL DRAWINGS
- HVAC DIFFUSERS, REFER TO MECHANICAL DWG.
- EXHAUST FAN - VENT DIRECT TO EXTERIOR -  
COORDINATE WITH HVAC DRAWINGS BY OTHERS



**AREA 'B'**  
**REFLECTED CEILING PLAN**  
SCALE: 3/16" = 1'-0"  
NORTH

**BUILDING KEY PLAN**  
SCALE: 1" = 30'-0"  
NORTH

**RDA GROUP ARCHITECTS**  
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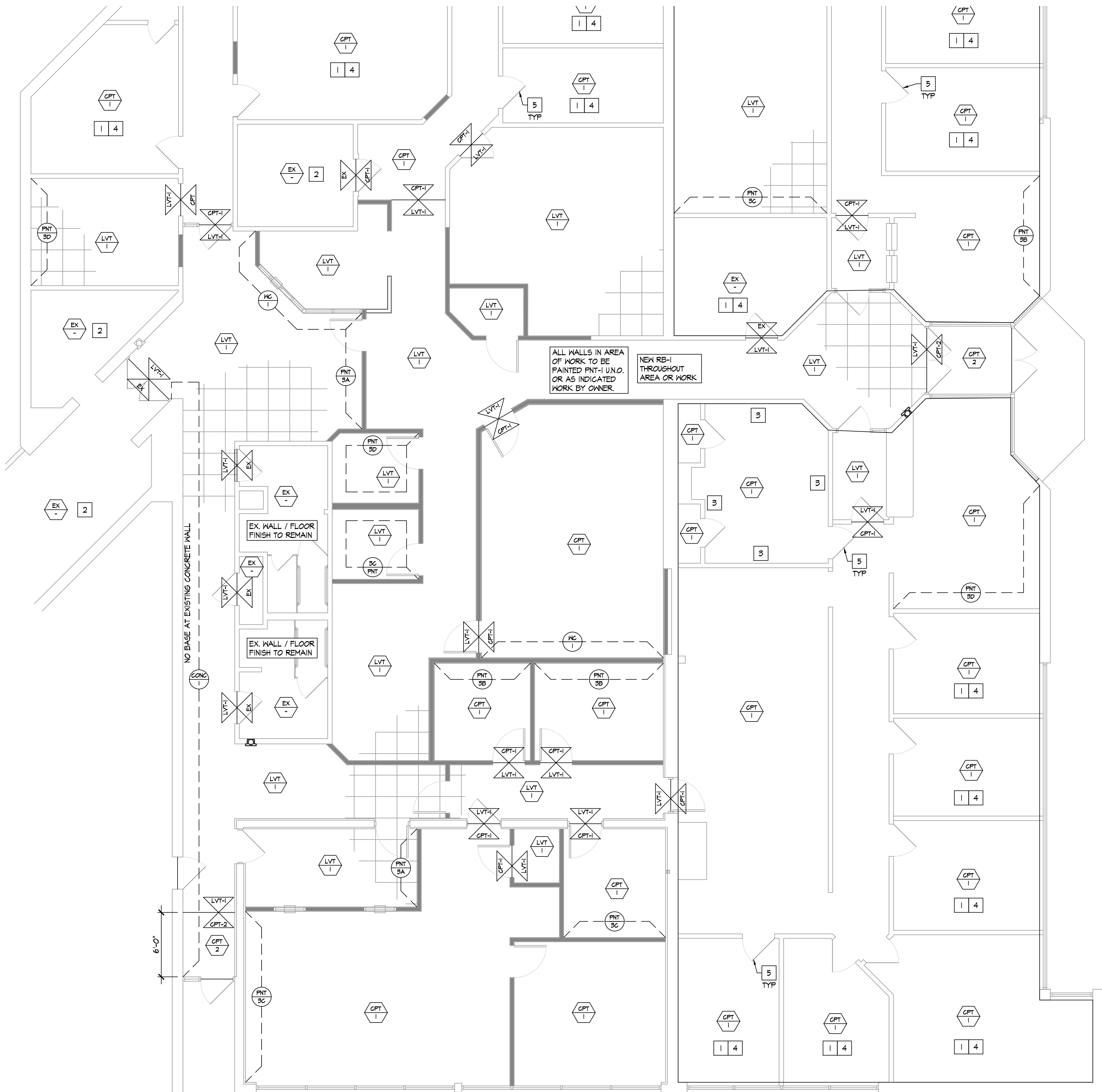
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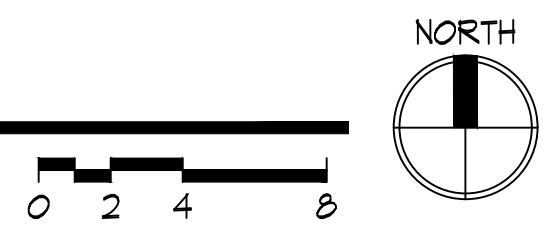
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Sheet Number
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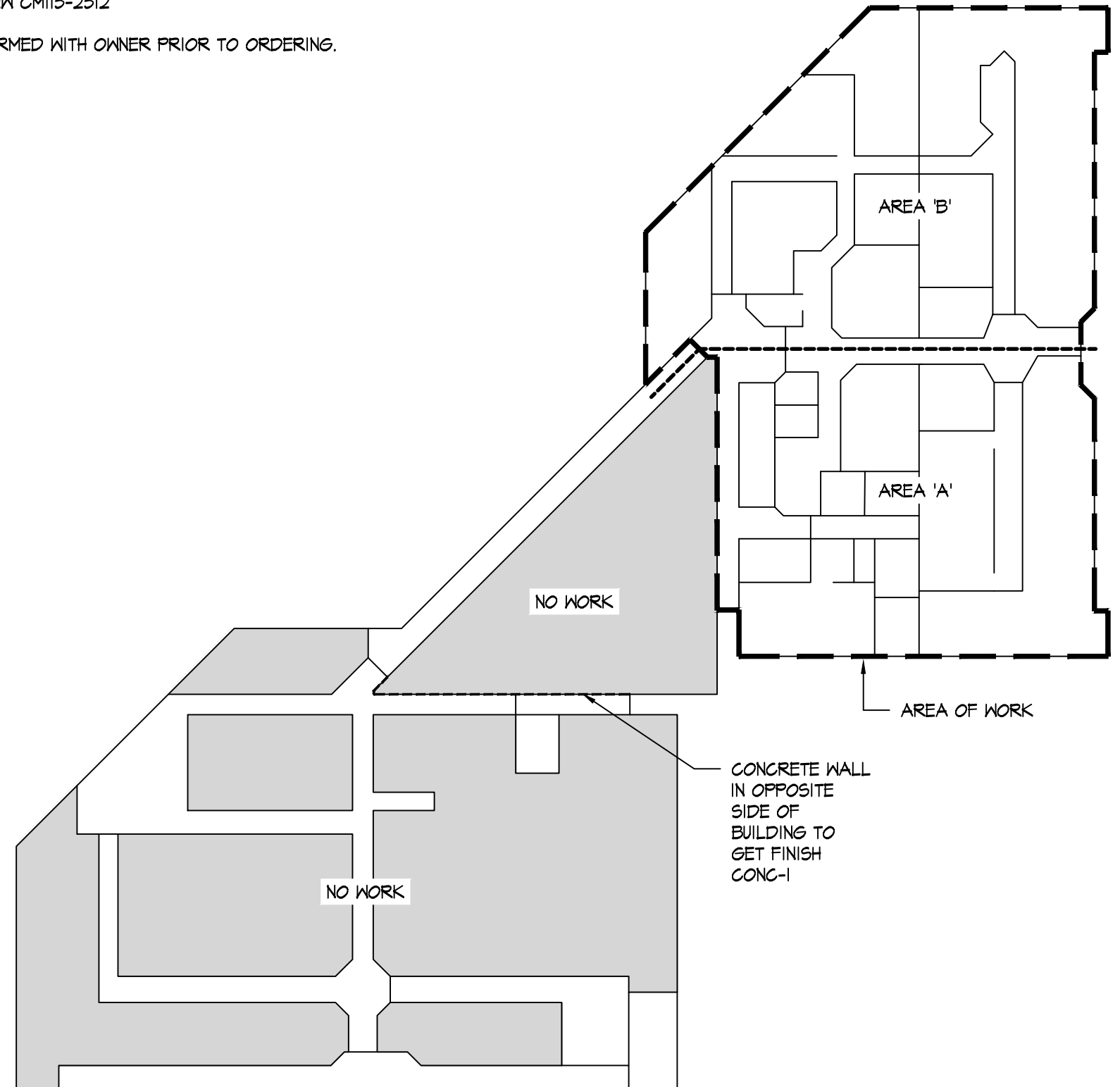


AREA 'A'  
FINISHES PLAN  
SCALE: 3/16" = 1'-0"



- # FINISH PLAN KEY NOTES
1. PAINT BY OWNER, THIS ROOM/AREA.
  2. NO NEW FINISHES THIS AREA.
  3. EXISTING WOOD CHAIR RAIL TO REMAIN.
  4. S.C. TO COORDINATE WITH OWNER FOR FURNITURE RELOCATION TO INSTALL CARPET/BASE.
  5. S.C. TO PAINT ALL EXISTING DOOR FRAMES IN AREA OF WORK, INCLUDING THOSE LABELED WITH KEY NOTE #1.
- FINISH SPECIFICATIONS
- LVT-1: LUXURY VINYL TILE  
MANUF. SHAW CONTRACT  
STYLE: COMPOUND 5.0 MM  
COLOR: BISQUE  
SIZE: 24"x24"
- CPT-1: CARPET TILES  
MANUF. SHAW CONTRACT  
STYLE: SEA TILE  
COLOR: MARKET  
SIZE: 24"x24"
- CPT-2: CARPET TILES [WALK-OFF]  
MANUF. SHAW CONTRACT  
STYLE: BON JOUR II  
COLOR: BLACK CHOCOLATE  
SIZE: 24"x24"
- PNT-1: GENERAL PAINT  
MANUF. SHERWIN WILLIAMS  
COLOR: SW7551 GREEK VILLA  
FINISH: SATIN
- PNT-2: TRIM PAINT  
MANUF. SHERWIN WILLIAMS  
COLOR: SW7020 BLACK FOX  
FINISH: SEMI-GLOSS
- PNT-3: ACCENT PAINT [A, B, C, ETC. INDICATE NEW COLOR ACCENT IN AREA, COORD. FINAL LOCATIONS WITH OWNER]  
MANUF. SHERWIN WILLIAMS  
COLOR: [A] SW9116 DRESS BLUES  
[B] SW1038 TONY TAUPE  
[C] SW9130 EVERGREEN FROG  
[D] SW9156 GRIS MORADO  
FINISH: SATIN
- PNT-4: CEILING/SOFFIT PAINT  
MANUF. SHERWIN WILLIAMS  
COLOR: SW7006 EXTRA WHITE  
FINISH: FLAT
- CONC-1: EXISTING EXPOSED AGGREGATE CONCRETE WALL TO REMAIN, CLEAN AND APPLY SEALANT W.R. MEADOWS - VOCOMP-20
- RB-1: RUBBER WALL BASE  
MANUF. ROPPE  
COLOR: 110 BROWN  
SIZE: 4" [6" AT TOILET ROOMS]
- FLAM-1: PLASTIC LAMINATE CABINETS  
MANUF. WILSONART  
COLOR: MORRO ZEPHYR 4846-60  
FINISH: MATTE
- SS-1: SOLID SURFACE COUNTERTOP  
MANUF. CORIAN  
COLOR: DOESKIN
- WC-1: WALLCOVERING  
MANUF. SURFACE MATERIALS  
SERIES: COMMAINT - BELLINI  
COLOR: CASHEN CM13-2312
- ALL FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.

- DRAWING KEY
- FLOOR FINISH  
FINISH # SPEC.
- FLOOR FINISH  
LOCATION OF FLOORING TRANSITION  
FLOOR FINISH
- WALL FINISH TYPE  
WALL FINISH # SPECIFICATION
- GENERAL NOTES
1. LVT / TILE TRANSITION STRIPS FROM CORRIDOR INTO THE RESTROOMS TO BE STAINLESS STEEL. (SLOPED SCHLUTER STRIP, TYP.)
  2. BETWEEN FLOORING TRANSITIONS, INSTALL VINYL TRANSITION STRIPS TO MATCH RE-1 WHEN TRANSITIONING BETWEEN CARPET AND VINYL.
  3. ALL FINISHES SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO ORDERING.
  4. ALL FLOORING TO BE INSTALLED USING THE TOOLS, ADHESIVES, INSTALLATION AND SEAMING METHODS RECOMMENDED BY MANUFACTURER'S INSTRUCTIONS.
  5. CONTRACTOR SHALL PROVIDE SMOOTH AND LEVEL TRANSITION BETWEEN ADJACENT FLOORING SURFACES. CONTRACTOR TO VERIFY AND CONFIRM THAT APPROPRIATE TRANSITIONS ARE USED AT THE INTENDED LOCATIONS.
  6. CONTRACTOR SHALL USE MANUFACTURER'S RECOMMENDED ADHESIVES THAT ARE NON-TOXIC, LOW ODOR AND SOLVENT-FREE ADHESIVES SHALL BE ANTIMICROBIAL WITH NO HAZARDOUS VAPORS AND CONTAIN NO CARCINOGENIC MATERIALS PER CURRENT OSHA REGULATIONS.
  7. FINISH PRODUCTS SHALL BE FROM THE SAME DYE LOT.
  8. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
  9. INSTALLATION OF ALL MATERIALS AND SYSTEMS SHALL COMPLY WITH APPLICABLE MANUFACTURER'S RECOMMENDATIONS FOR THE TYPE OF INSTALLATION. FOR PRODUCTS AND/OR EQUIPMENT HAVING A MANUFACTURER'S WARRANTY AVAILABLE, THE INSTALLATION SHALL BE AS REQUIRED FOR SUCH WARRANTY TO BE IN EFFECT.
  10. COORDINATE FLOOR PREP REQUIRED FOR PROPOSED FLOOR FINISHES.
  11. PATCH AND PAINT ALL WALL FINISHES AS REQUIRED BY NEW WORK.
  12. ALL PAINTS TO BE NO-VOC IN NATURE. ALL PAINTS TO BE PURCHASED/ MANUFACTURED AS SPECIFIED (IE- SHERWIN WILLIAMS PAINTS SHALL BE PURCHASED FROM SHERWIN WILLIAMS SUPPLIERS, ETC.).
  13. ALL FIRE EXTINGUISHER CABINETS ARE TO BE PAINTED A SEMI-GLOSS FINISH TO MATCH ADJACENT WALL FINISH UNLESS OTHERWISE NOTED.
  14. ALL ACCESS PANELS ARE TO BE PAINTED A SEMI-GLOSS FINISH TO MATCH ADJACENT WALL FINISH UNLESS OTHERWISE NOTED.
  15. ALL GYPSUM BOARD CEILINGS ARE TO BE PAINTED WHITE. (PNT-4)
  16. ALL DRYWALL SURFACES NOT INDICATED ON THE PLANS TO BE PAINTED PNT-1 UNLESS OTHERWISE NOTED.
  17. PAINT FACE OF BULKHEAD TO MATCH BELOW WALL FINISH. UNDERSIDE OF BULKHEAD TO BE PAINTED WHITE.
  18. CONTRACTOR SHALL USE MANUFACTURER'S RECOMMENDED ADHESIVES THAT ARE NON-TOXIC, LOW ODOR AND SOLVENT-FREE ADHESIVES SHALL BE ANTIMICROBIAL WITH NO HAZARDOUS VAPORS AND CONTAIN NO CARCINOGENIC MATERIALS PER CURRENT OSHA REGULATIONS.
  19. PAINT ALL NEW AND EXISTING H.M. DOOR FRAMES TO REMAIN. PNT-2.



BUILDING KEY PLAN  
SCALE: 1" = 30'-0"

**RDA GROUP ARCHITECTS**  
7945 Washington Woods Drive  
Dayton, Ohio 45459  
O: 937.610.3440

STATE OF OHIO  
JONATHAN ROBERT SCHAAF  
14503  
REGISTERED ARCHITECT

Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2023

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Phase 1 Modernization for:  
**City of Moraine Municipal Building**  
4200 Dryden Road  
Moraine, OH 45439

Print Record  
03/06/23 Final Review  
03/29/23 Bid / Construction Set

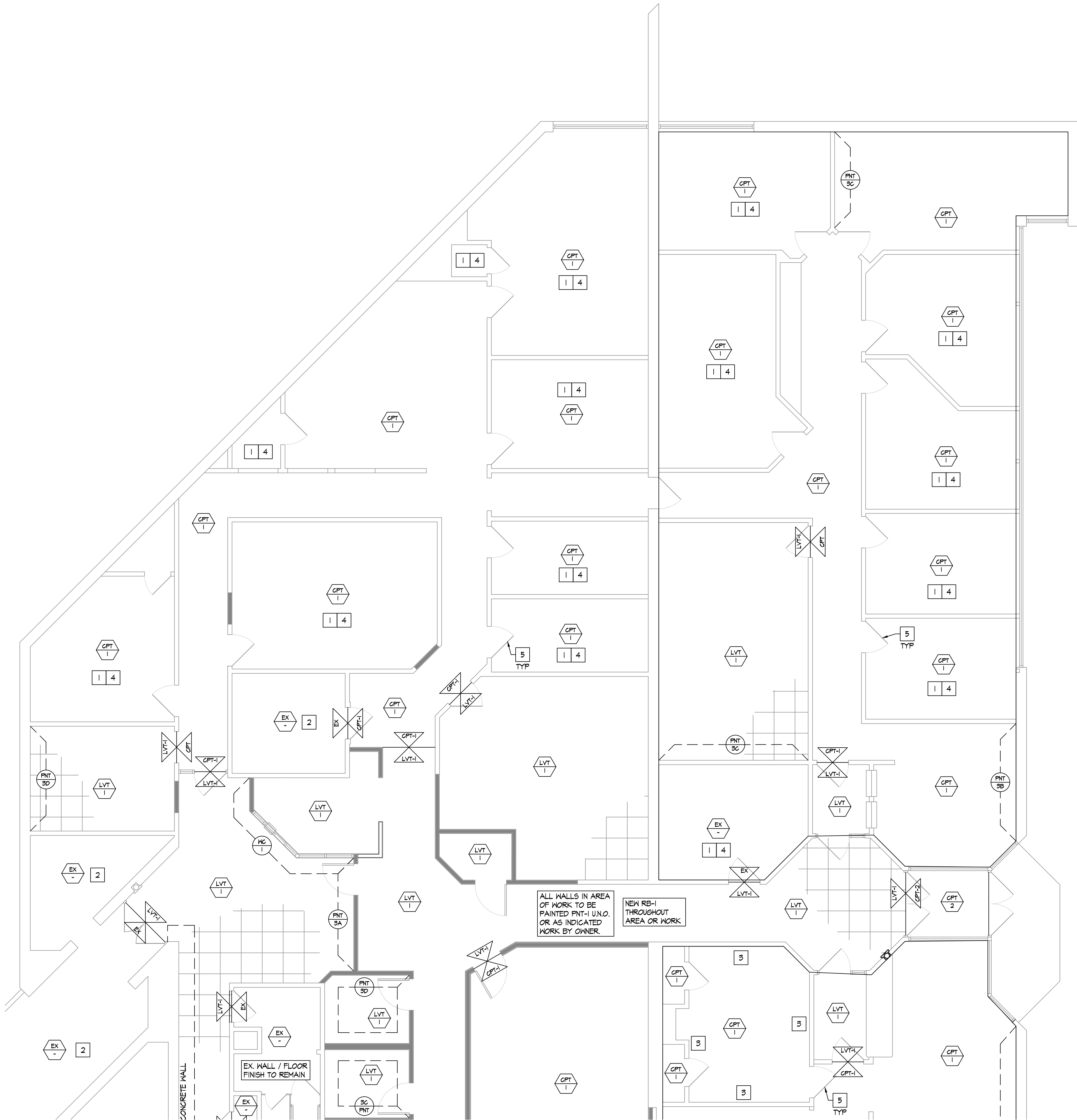
Project Number  
2020-149

Date  
March 29, 2023

Sheet Title  
AREA 'A'  
FINISHES PLAN

Sheet Number  
**A1.7**

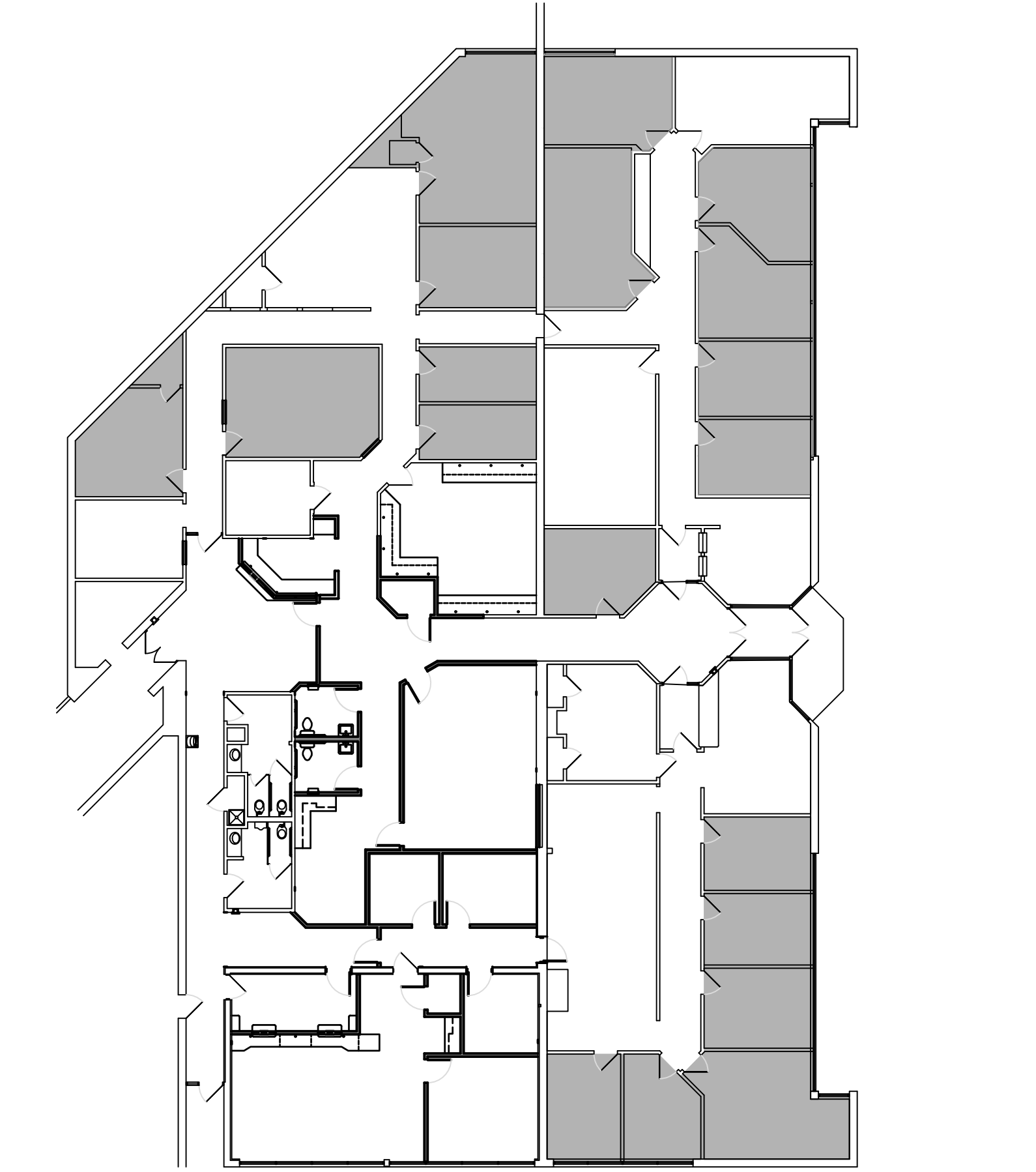
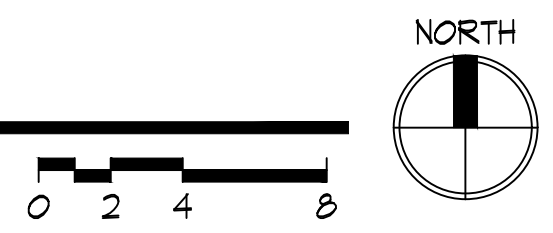




A

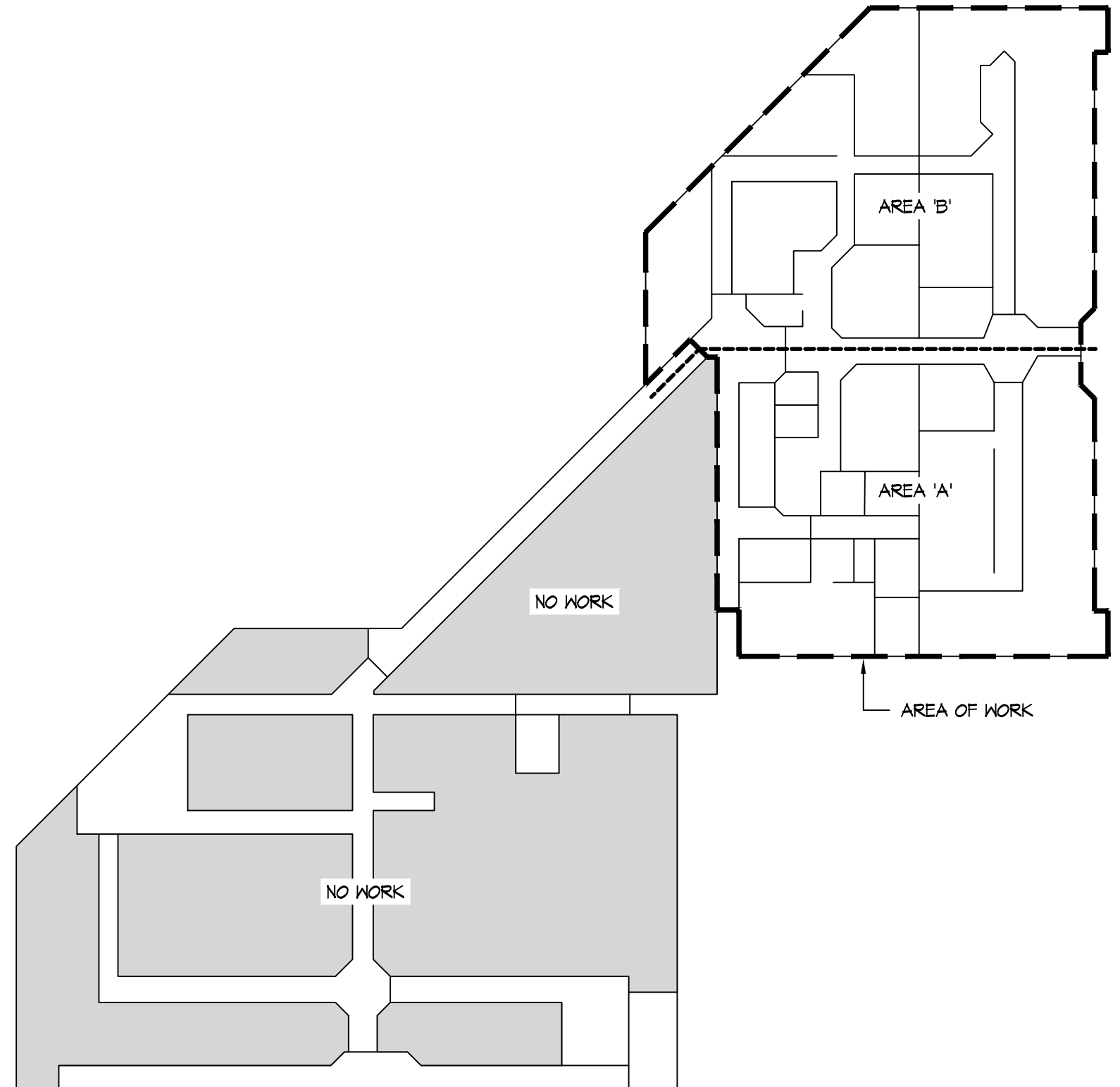
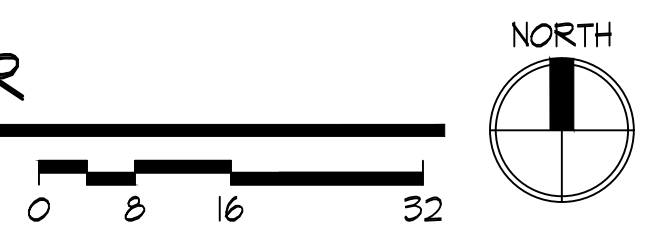
AREA 'B'  
FLOOR FINISH PLAN

SCALE: 3/16" = 1'-0"



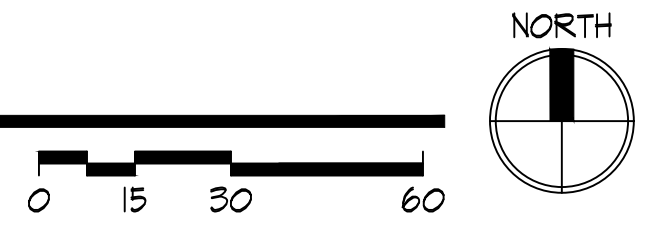
WALL PAINT BY OWNER

SCALE: 1/16" = 1'-0"



BUILDING KEY PLAN

SCALE: 1" = 30'-0"



**RDA GROUP ARCHITECTS**  
7945 Washington Woods Drive  
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STATE OF OHIO  
JONATHAN ROBERT SCHAAF  
14503  
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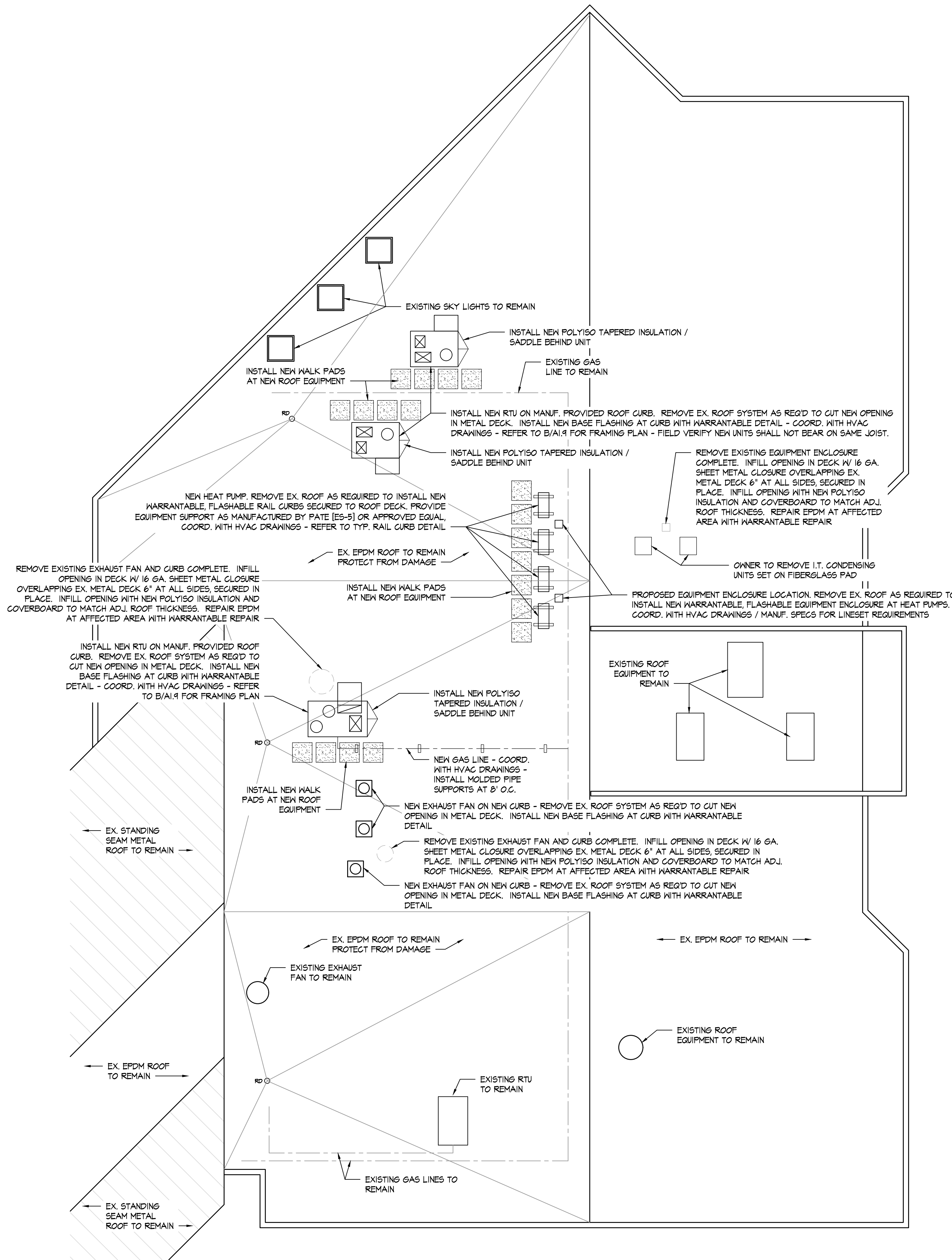
Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2023

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Phase I Modernization for:  
**City of Moraine Municipal Building**  
4200 Dryden Road  
Moraine, OH 45439

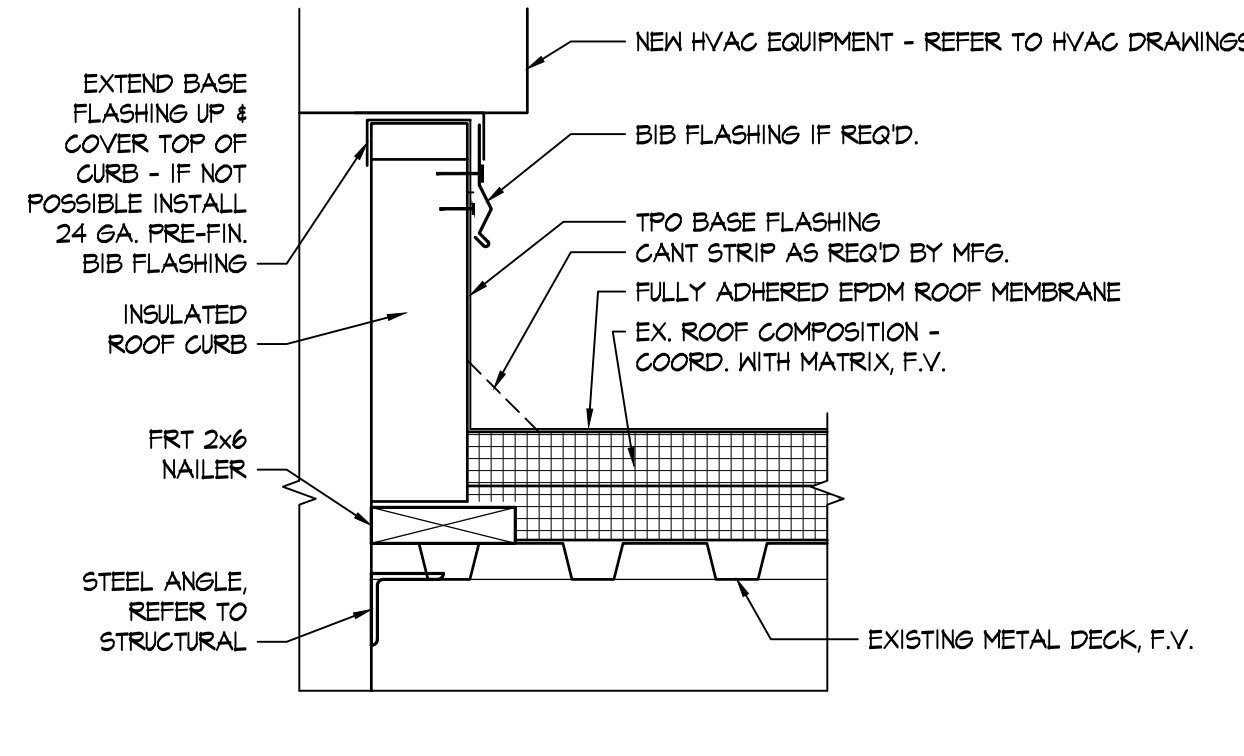
Print Record
03/06/23 Final Review
03/29/23 Bid / Construction Set
Project Number
2020-149
Date
March 29, 2023
Sheet Title
AREA 'B' FINISHES PLAN
Sheet Number
A1.8



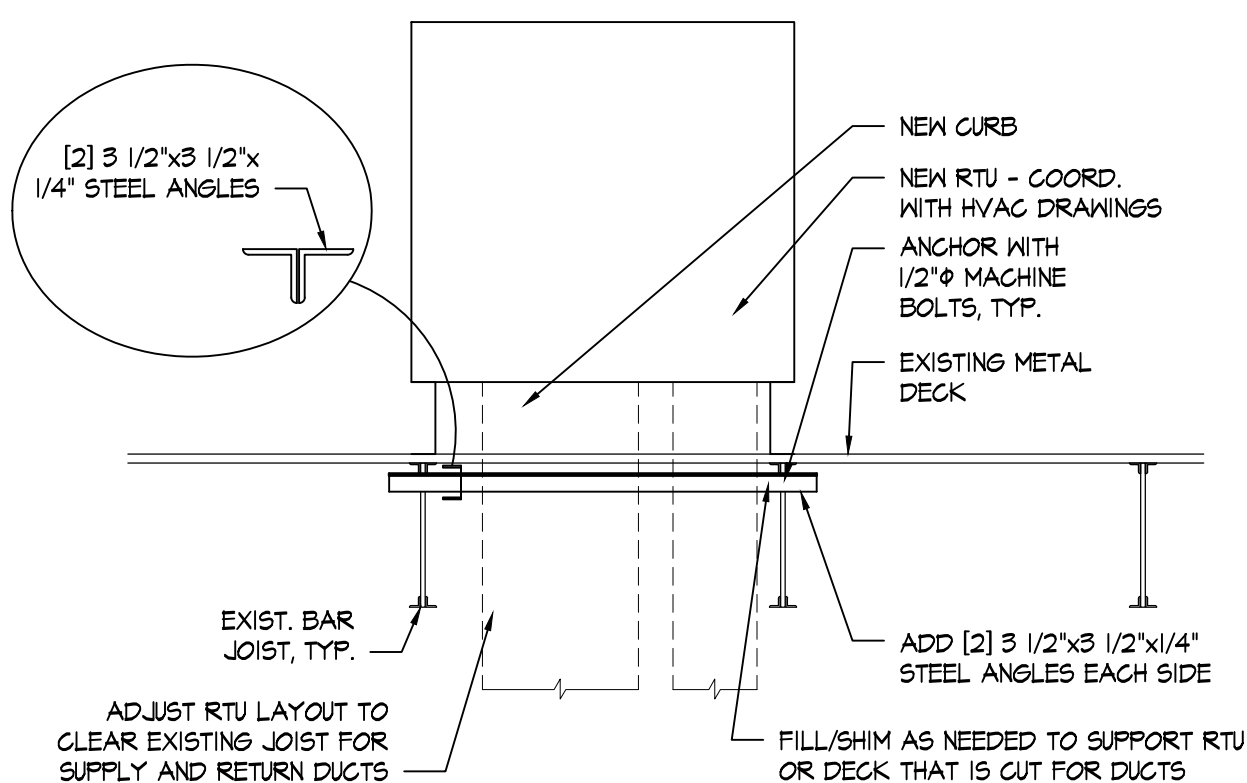


**A** **ROOF PLAN**  
SCALE: 1/8" = 1'-0"

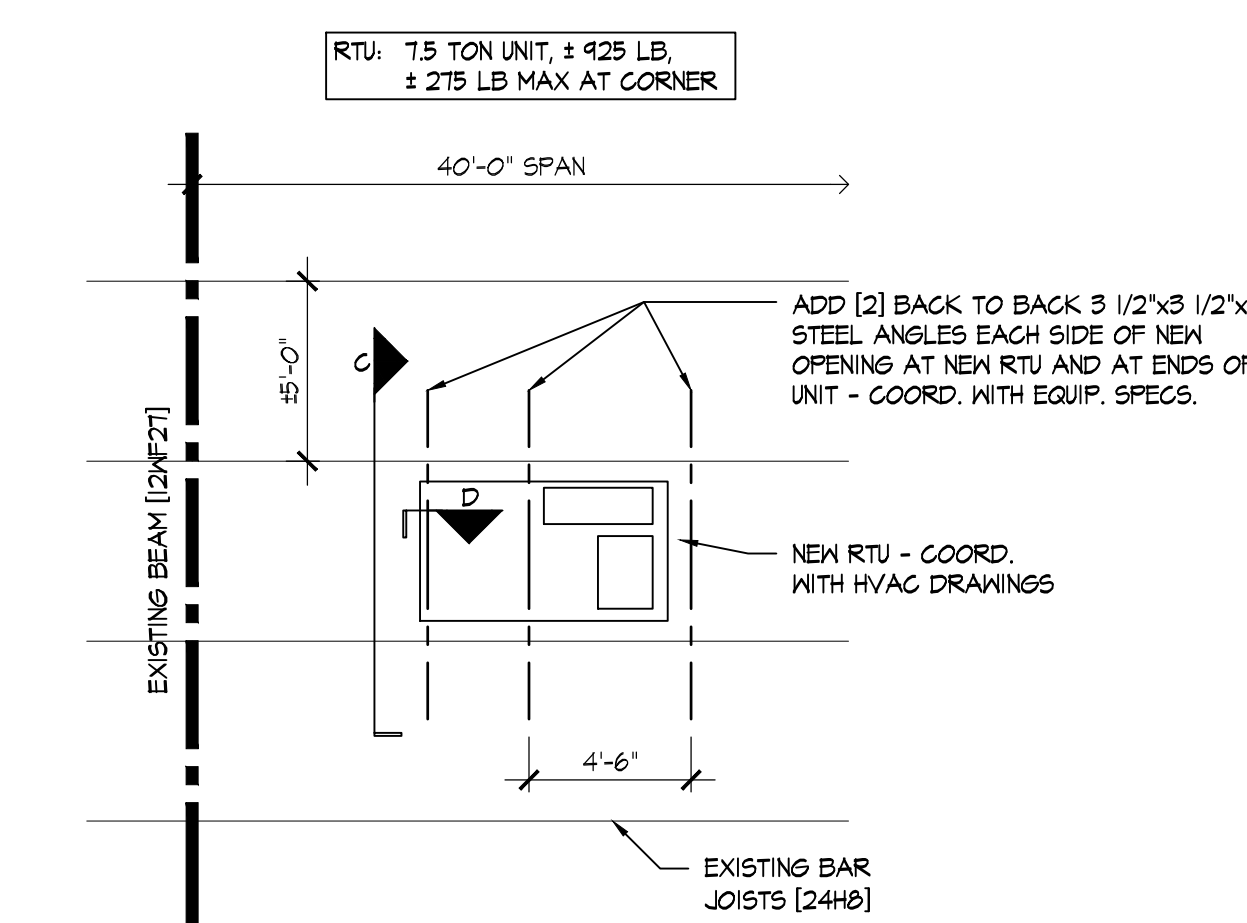
NOTE: ANY ROOF PENETRATIONS SHALL BE COORDINATED WITH RDA PRIOR TO WORK COMMENCING. CONTRACTOR SHALL CONTRACT WITH COTTERMAN & CO. TO ACCOMPLISH ANY ROOF REPAIR/NEW FLASHING/TIE IN, ETC. ROOF IS CURRENTLY UNDER WARRANTY WITH CARLISLE & ANY WORK MUST BE ACCOMPLISHED FOLLOWING CARLISLE DETAILS.



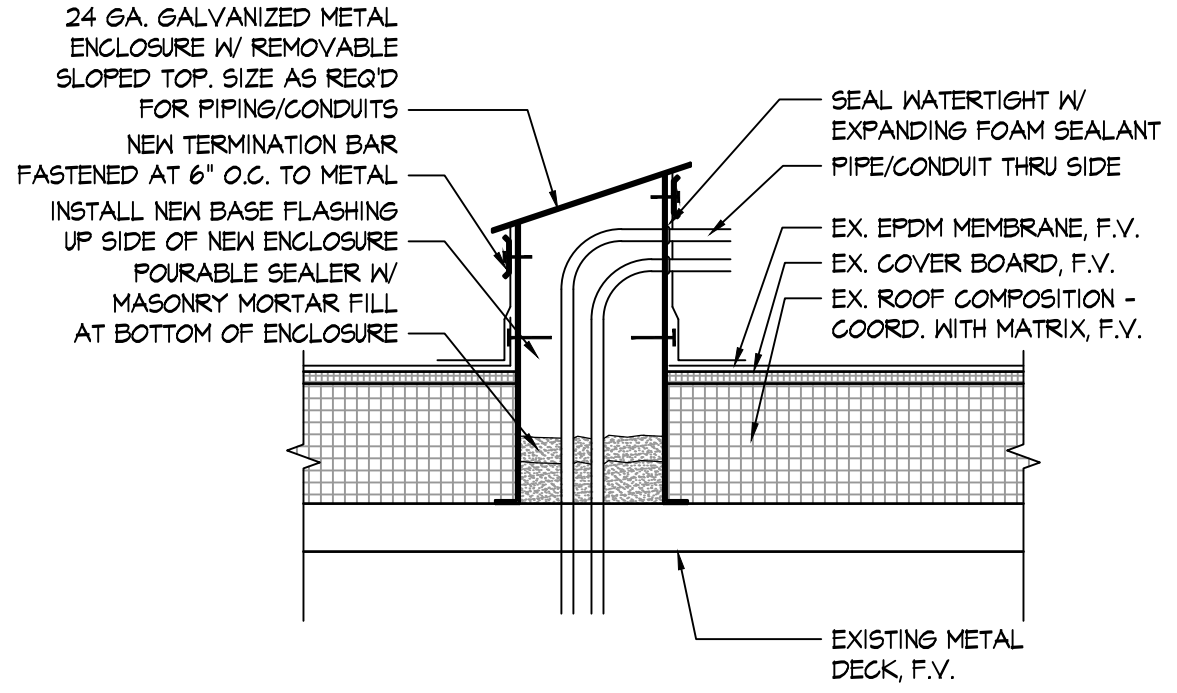
**H** **CURB DETAIL**  
SCALE: N.T.S.



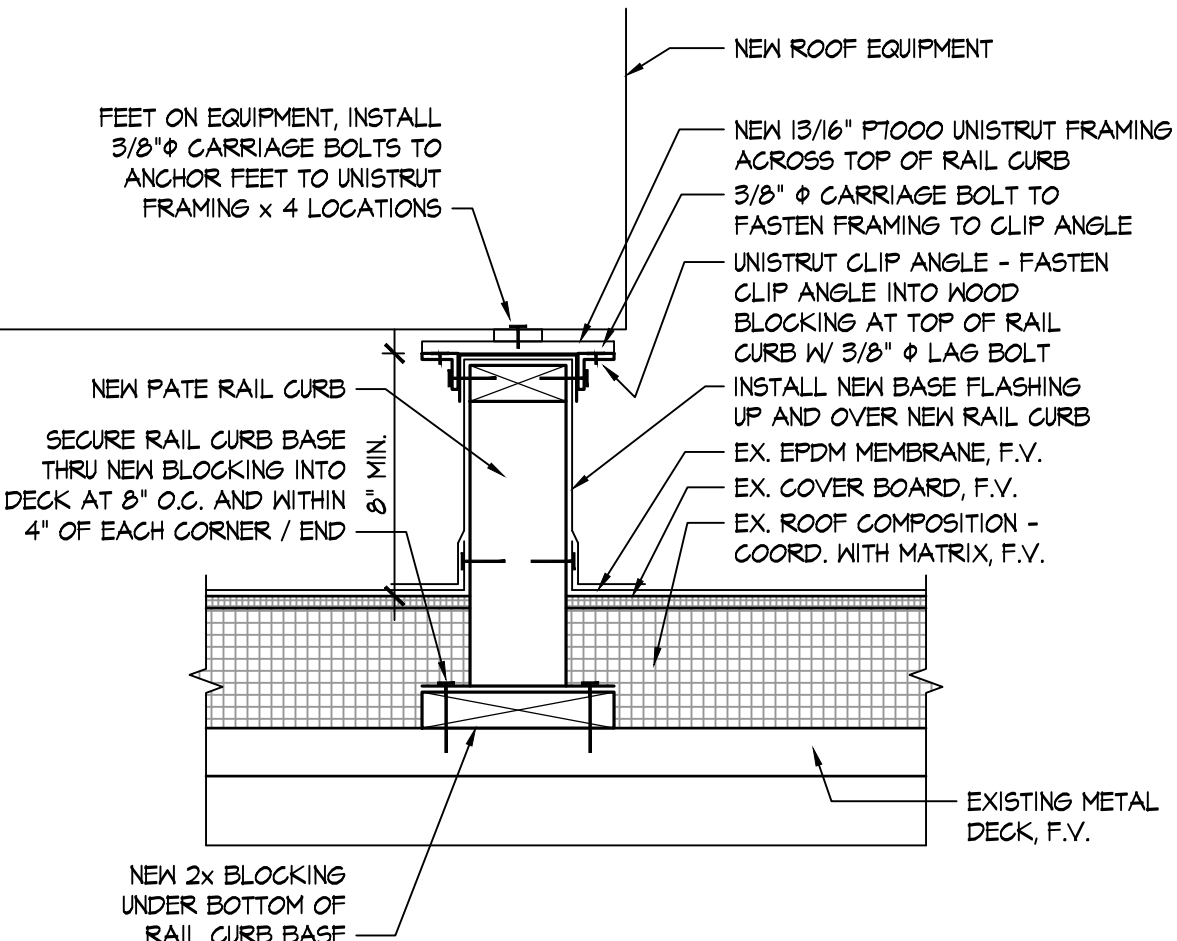
**C** **FRAMING SECTION**  
SCALE: 3/8" = 1'-0"



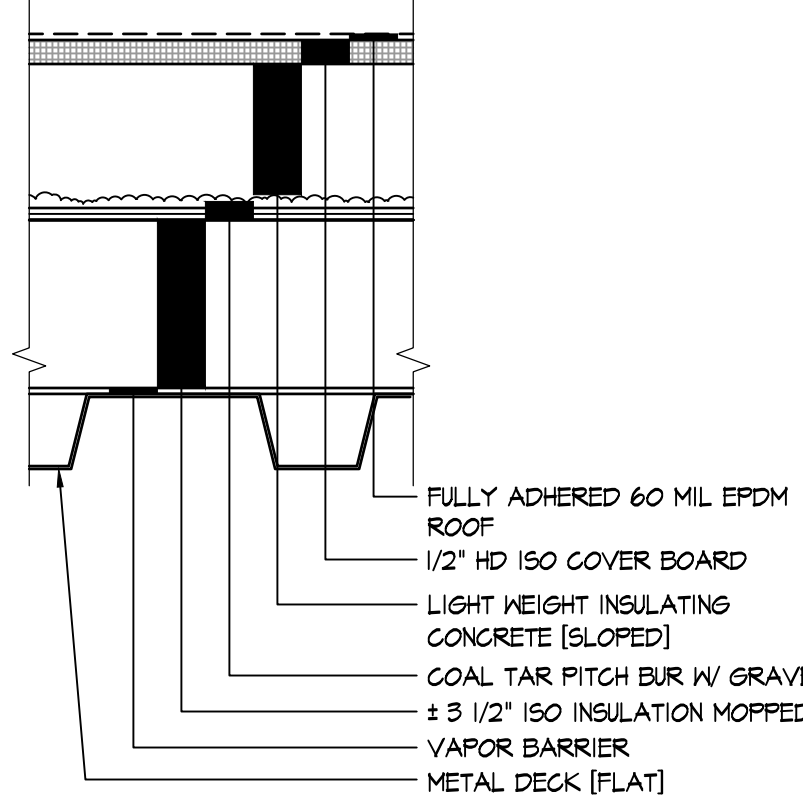
**B** **PARTIAL FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



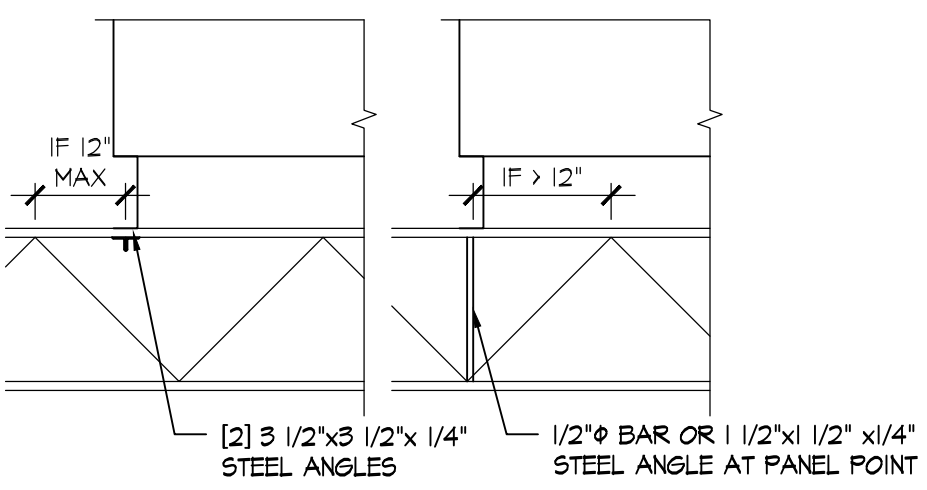
**G** **TYP. EQUIP. ENCLOSURE**  
SCALE: N.T.S.



**F** **TYP. RAIL CURB FLASHING**  
SCALE: N.T.S.



**E** **EX. ROOF MATRIX**  
SCALE: N.T.S.



**D** **FRAMING SECTION**  
SCALE: 3/8" = 1'-0"

**RDA GROUP ARCHITECTS**

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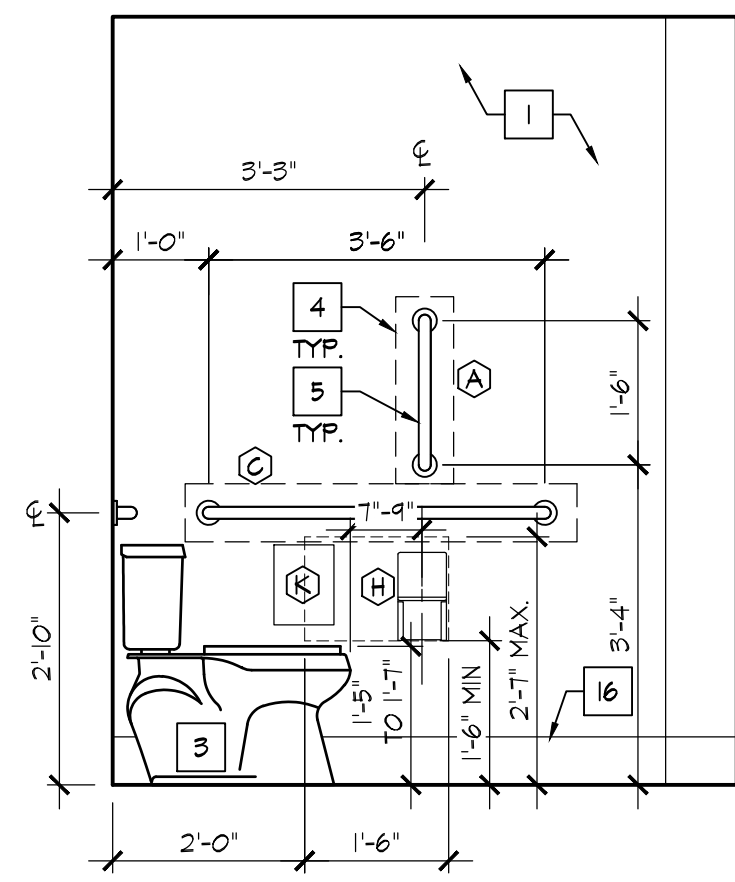
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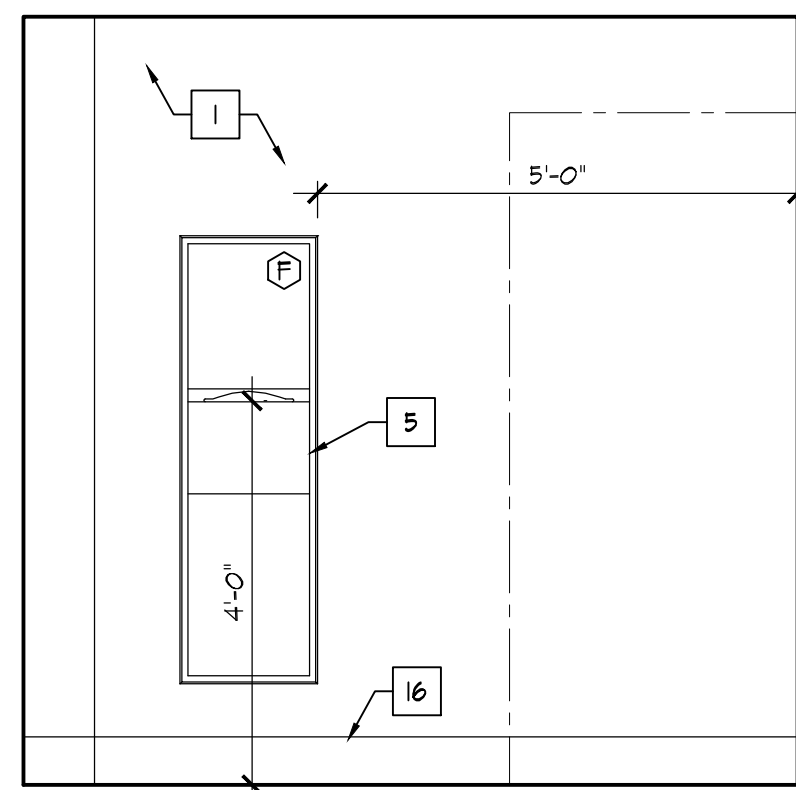
Phase I Modernization for:  
**City of Moraine Municipal Building**  
4200 Dryden Road  
Moraine, OH 45439

Print Record
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03/29/23 Bld / Construction Set
Project Number
2020-149
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Sheet Title
ROOF PLAN
Sheet Number
<b>A1.9</b>

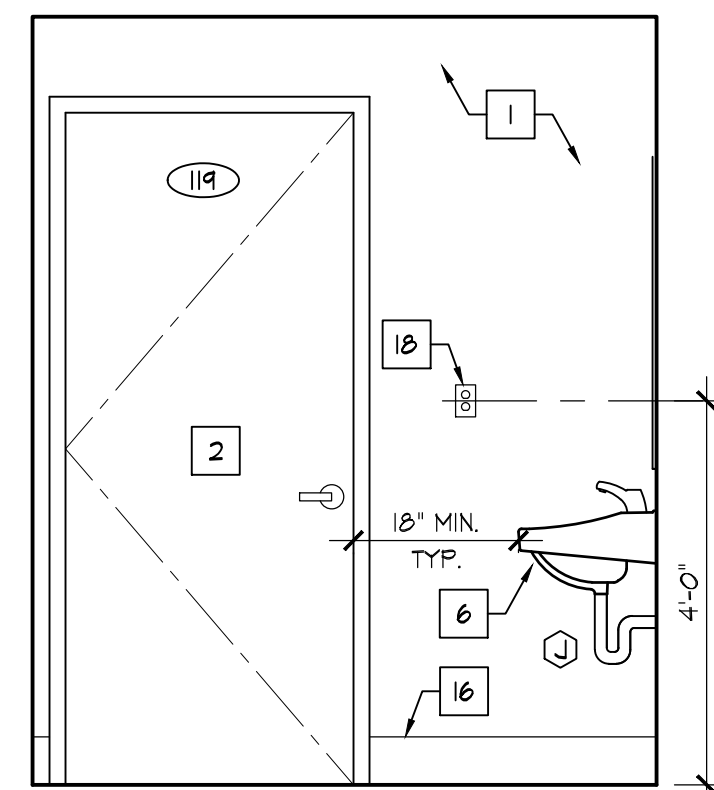




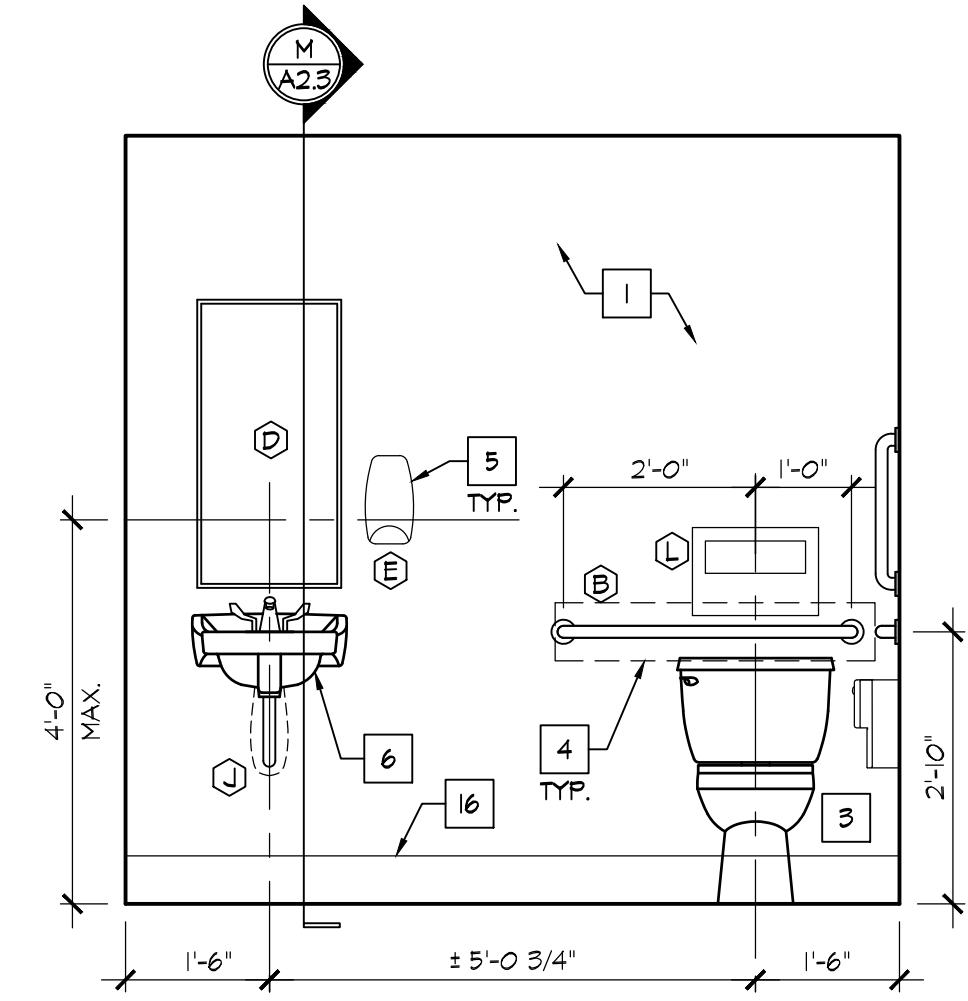
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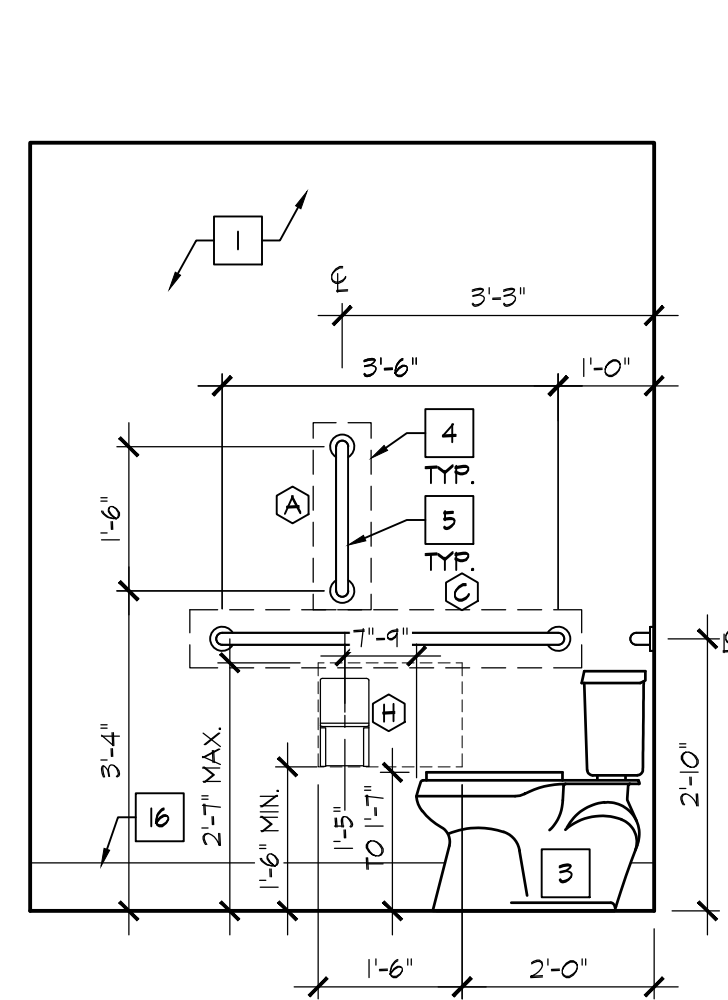
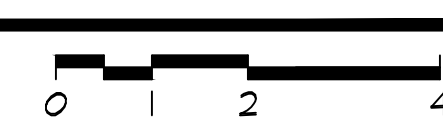
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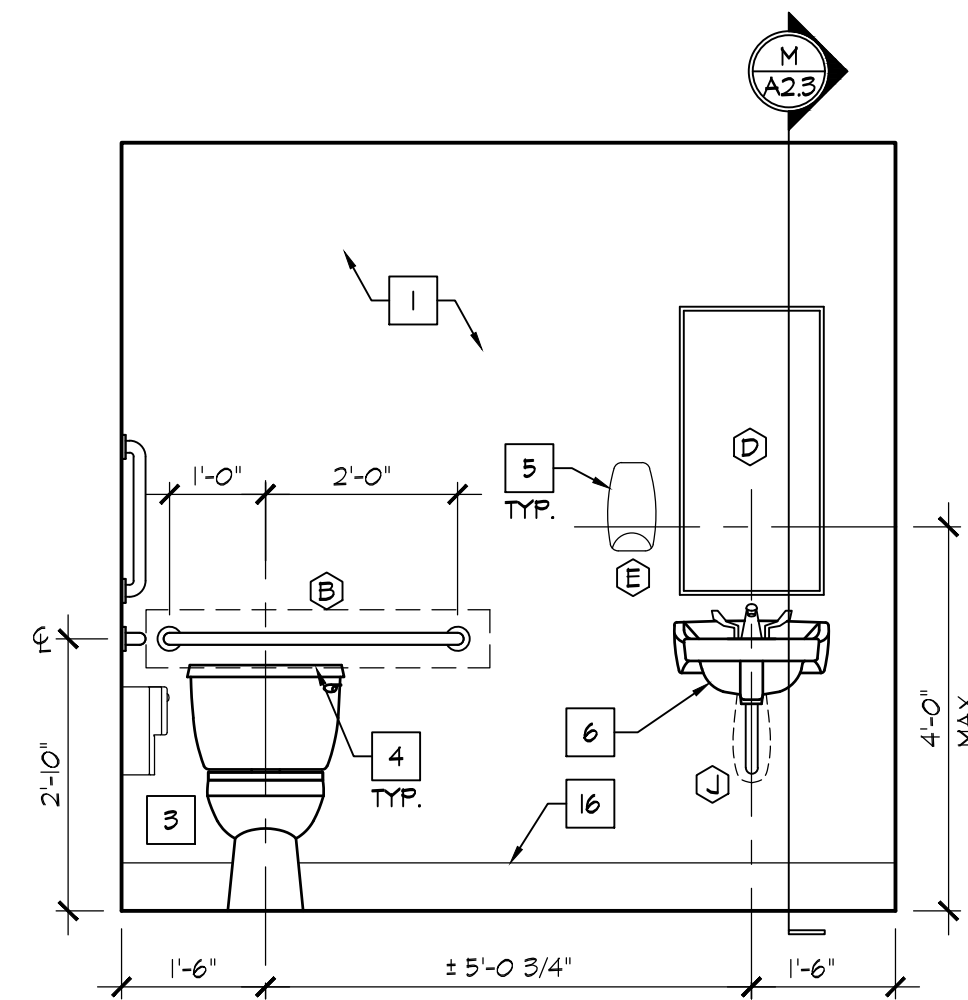
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## WOMENS TOILET 119 INTERIOR ELEVATIONS

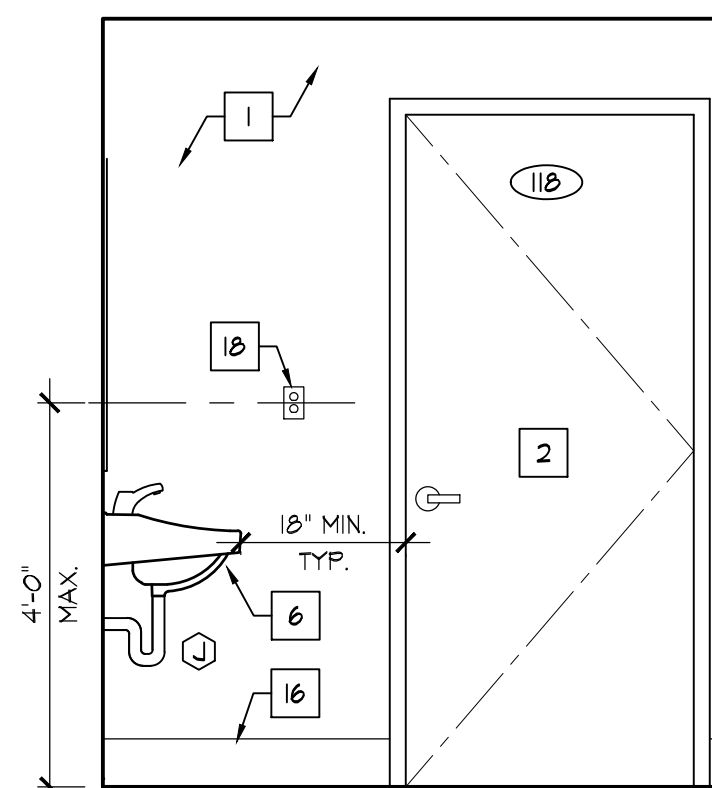
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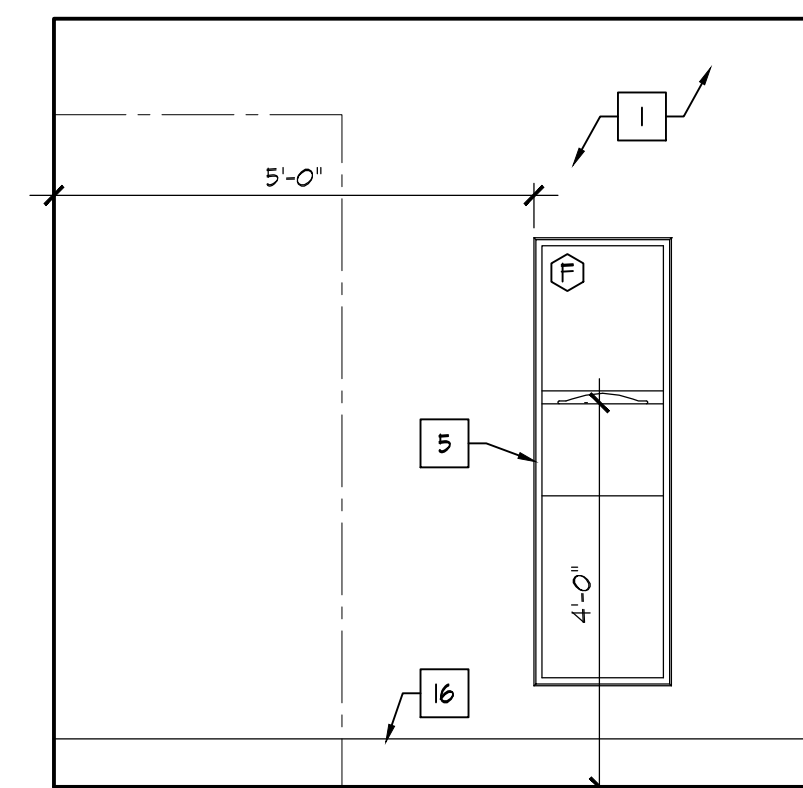
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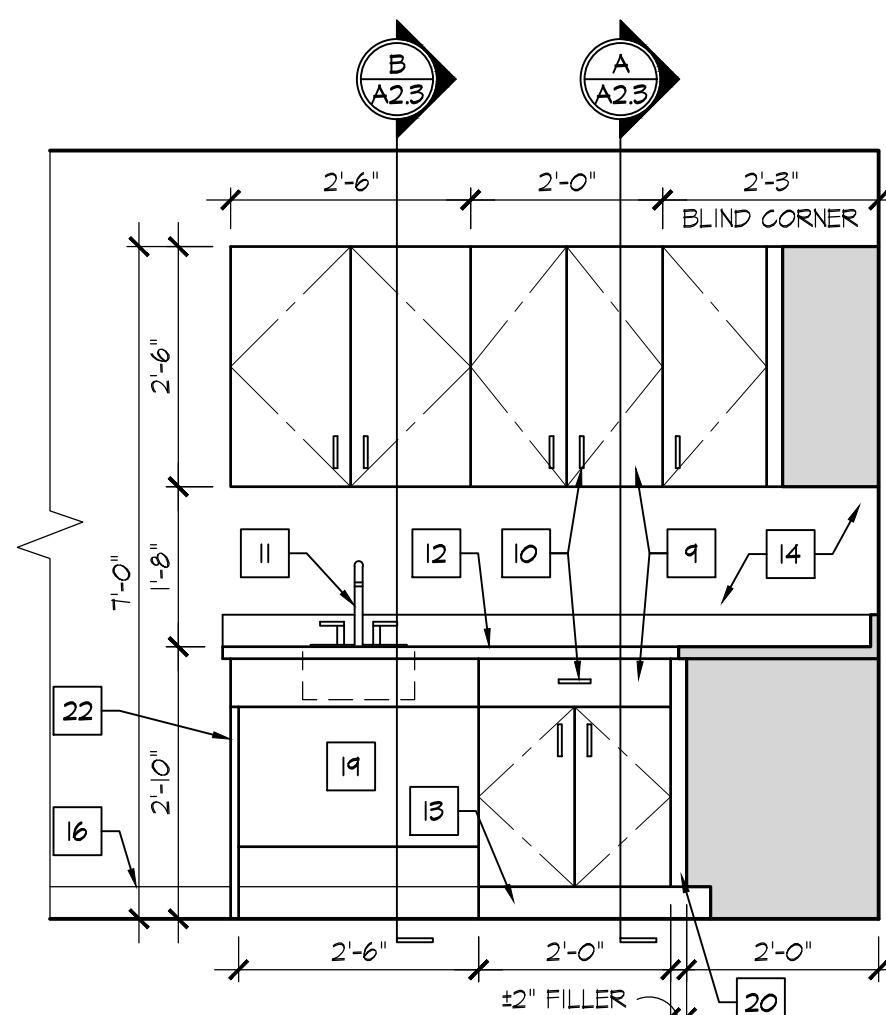
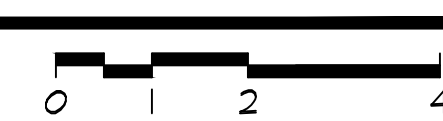
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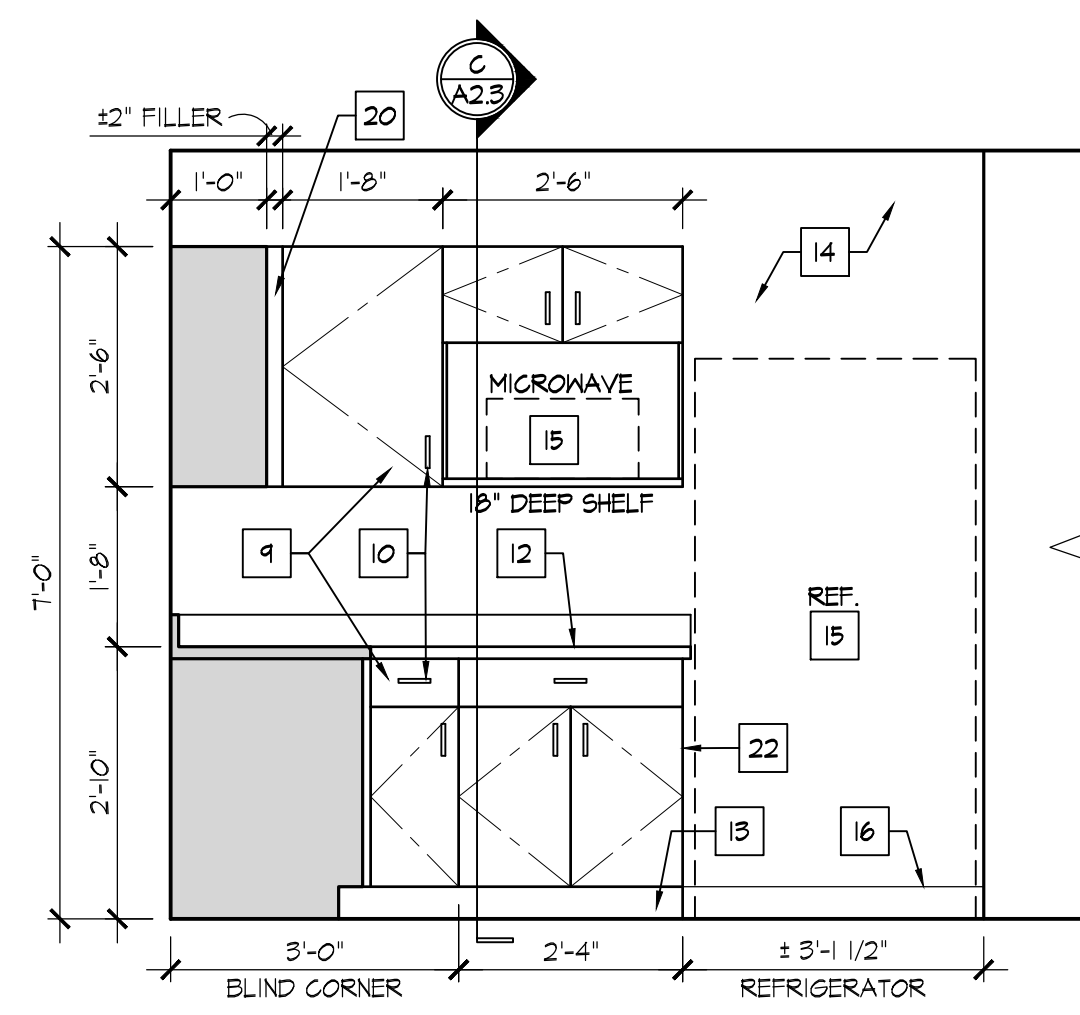
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## MENS TOILET 118 INTERIOR ELEVATIONS

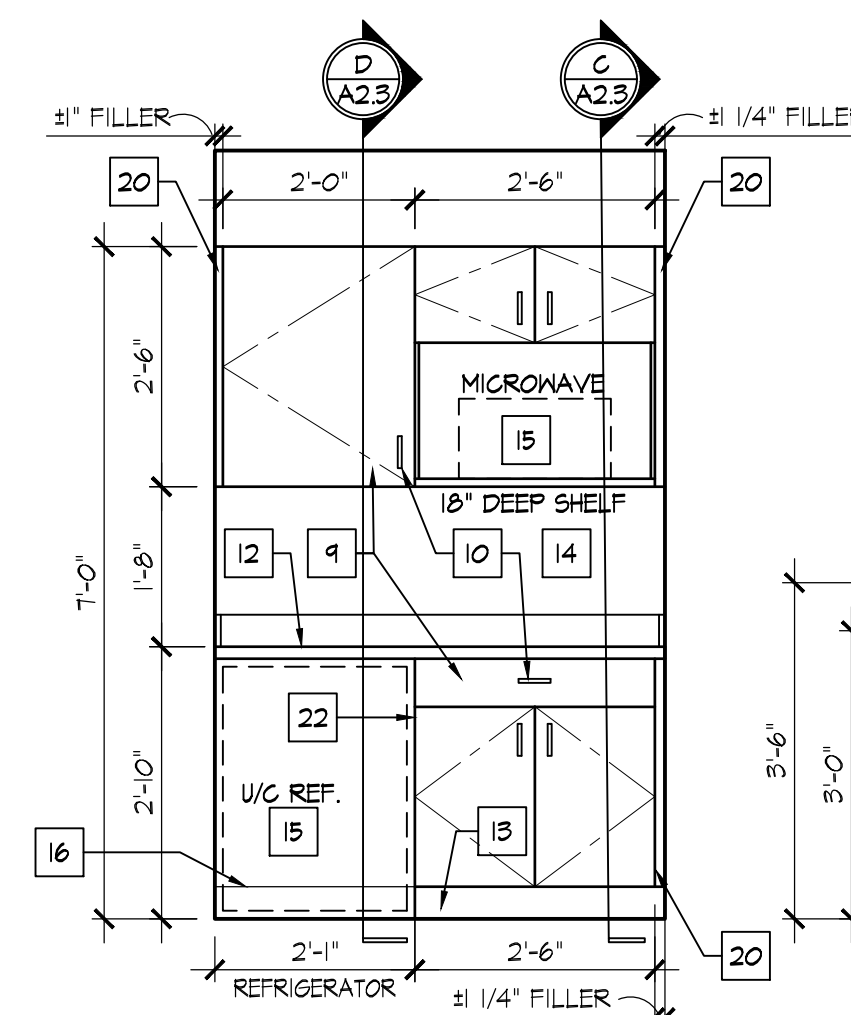
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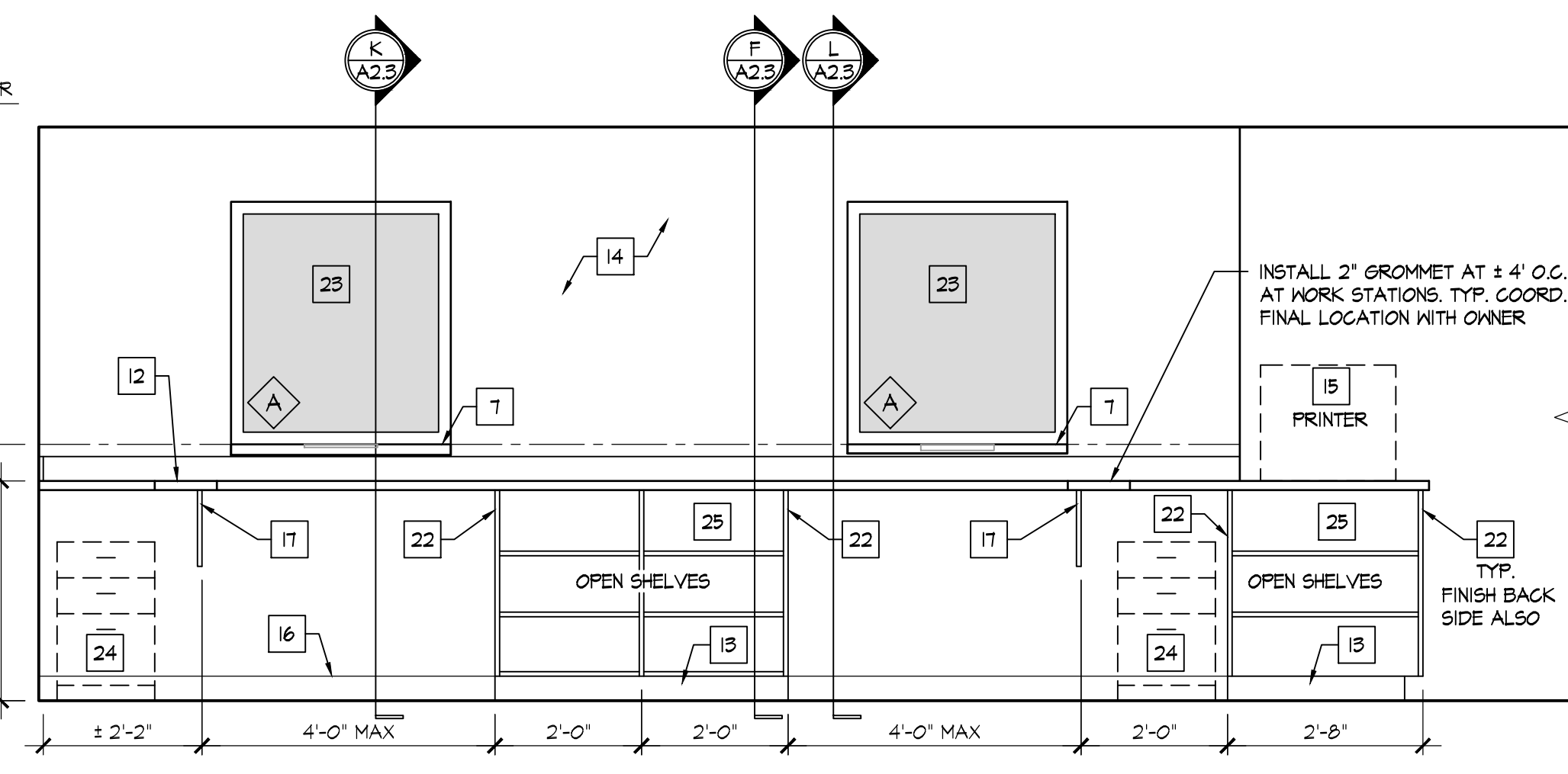
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10



11



12

## BREAK ROOM 116 INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"



## CLERK OFFICE 113 INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"

\* NOT ALL NOTES MAY BE USED ON THIS SHEET

### INTERIOR ELEVATION KEY NOTES

- 5/8" MOISTURE RESISTANT GYP. BD. AT ALL WALLS, PREP AND PAINT.
- DOOR/FRAME - REFER TO DOOR SCHEDULE.
- ACCESSIBLE WATER CLOSET. NOTE THAT LEVER SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
- PROVIDE 2x8 FRT BLOCKING WHERE REQ'D AT ALL TOILET ACCESSORIES, TYPICAL.
- TOILET ROOM ACCESSORIES, TYP. REFER TO SCHEDULE
- ACCESSIBLE WALL HING LAVATORY AND FAUCET.
- 18" DEEP SOLID SURFACE COUNTER BELOW BALLISTIC WINDOW [SS-1] WITH WALL BRACKETS [BASIS OF DESIGN: KNAPE AND VOGT DECORATIVE BRACKET RP-00830/CBK]
- 12" DEEP SOLID SURFACE ADA WRITING COUNTER WITH WALL BRACKET SUPPORTS [SS-1]
- PLASTIC LAMINATE BASE / WALL CABINETS W/ ADJUSTABLE SHELVING, WHITE MELAMINE INTERIOR [PLAM-2]
- 4" WIRE PULL
- STAINLESS STEEL SINK/FAUCET. REFER TO PLUMBING DRAWINGS
- PLASTIC LAMINATE COUNTERTOP AND 4" BACKSPLASH/ENDSPLASH [PLAM-1]
- TOE KICK, RB-1
- PAINTED GYPSUM BOARD, REFER TO FINISHES PLAN
- EQUIPMENT, BY OWNER
- FINISH WALL BASE, AS SCHEDULED.
- COUNTERTOP SUPPORT BRACKET - PROVIDE FRT BLOCKING IN WALL AS REQ'D
- GFI RECEPT AT 48" AFF. COORD WITH ELECTRICAL DRAWINGS.
- PLASTIC LAMINATE REMOVABLE PRIVACY PANEL [ADA] [PLAM-2]
- FILLER/SCRIBE CUT TO FIT. PLASTIC LAMINATE TO MATCH CABINETS.
- SOLID SURFACE COUNTER / WALL CAP [SS-1]
- PLASTIC LAMINATE FINISHED END PANEL [PLAM-2]
- BALLISTIC TRANSACTION WINDOW - REFER TO WINDOW SCHEDULE
- FURNITURE, BY OWNER.
- PLASTIC LAMINATE SHELVING UNIT - ALL SURFACES PLAM-1
- 3/4" TH. x 14" DEEP WHITE MELAMINE SHELVES ON ADJUSTABLE STANDARDS
- WALL COVERING LOCATION, REFER TO FINISHES PLAN.
- SOLID SURFACE COUNTERTOP W/ 4" BACKSPLASH [SS-1].

### TOILET ACCESSORY SCHEDULE

MARK	SIZE	MODEL
A	18" GRAB BAR	BOBRICK #5806
B	36" GRAB BAR	BOBRICK #5806
C	42" GRAB BAR	BOBRICK #5806
D	18" X 36" MIRROR	BOBRICK #B-165
E	SOAP DISPENSER	PROVIDED BY OWNER, INSTALLED BY GC
F	SEMI RECESSED TONEL/TRASH	BOBRICK #B-3442
G	PAPER TOWEL DISPENSER	PROVIDED BY OWNER, INSTALLED BY GC
H	TOILET PAPER DISPENSER	PROVIDED BY OWNER, INSTALLED BY GC
J	SUPPLY/DRAIN PIPING WRAP	TRU BRO
K	SANITARY NAPKIN RECEPTACLE	BOBRICK #B-210
L	TOILET SEAT COVER DISPENSER	BOBRICK #B-4221

ALL TOILET ACCESSORIES AS MANUFACTURED BY ASI, BOBRICK, BRADLEY OR EQUAL. SUBMIT CUT SHEETS TO OWNER FOR APPROVAL.

ALL SHALL BE STAINLESS STEEL FINISH.

FIELD COORDINATE ALL TOILET ACCESSORY LOCATIONS, CONFORM TO ALL ACCESSIBILITY INSTALLATION REQUIREMENTS.

PROVIDE AND INSTALL FRT BLOCKING AS REQUIRED FOR ALL TOILET ROOM ACCESSORIES.

**RDA GROUP ARCHITECTS**

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Phase I Modernization for:  
**City of Moraine Municipal Building**

4200 Dryden Road  
Moraine, OH 45439

Print Record

03/06/23 Final Review  
03/29/23 Bid / Construction Set

Project Number

2020-149

Date

March 29, 2023

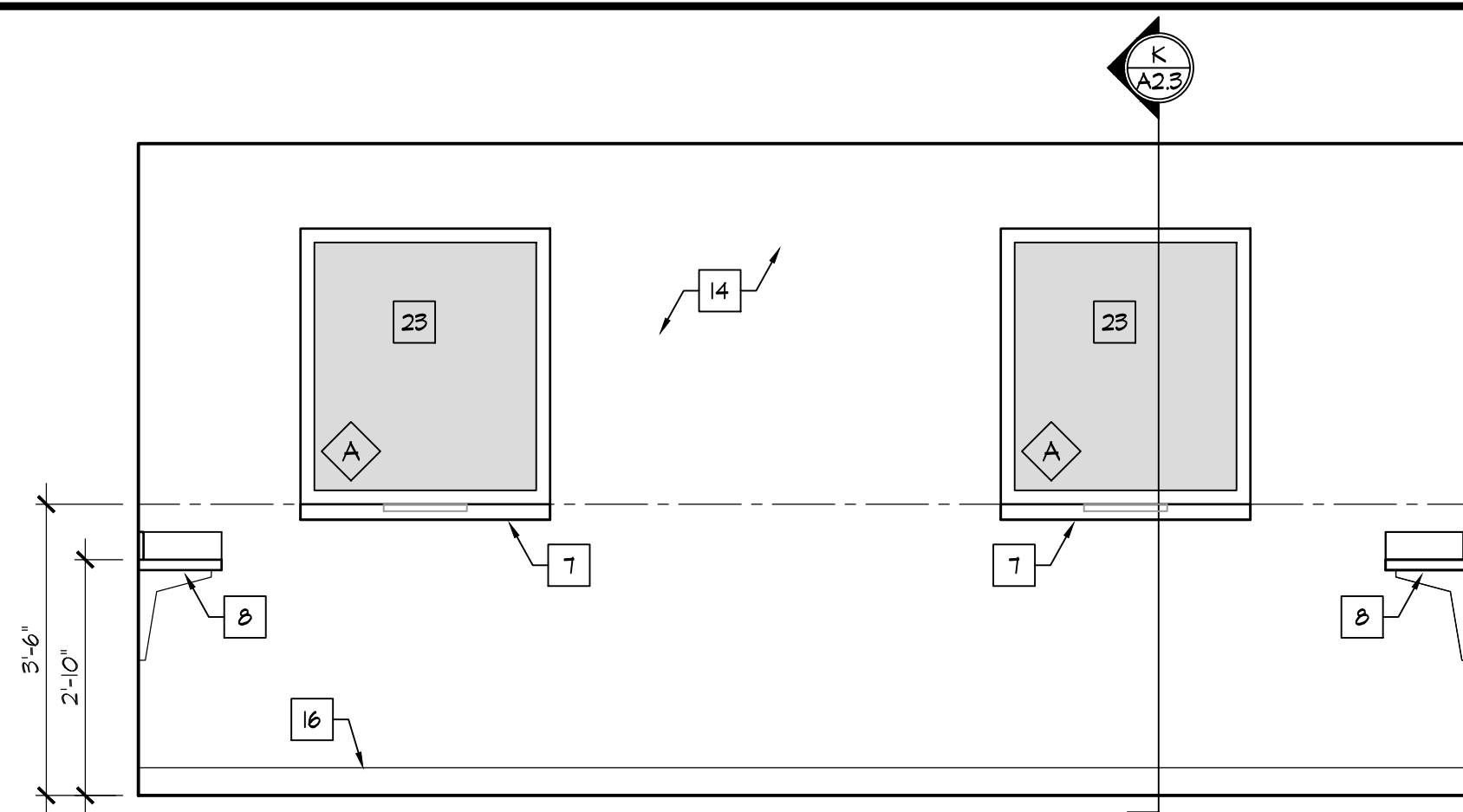
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INTERIOR ELEVATIONS

Sheet Number

A2.1

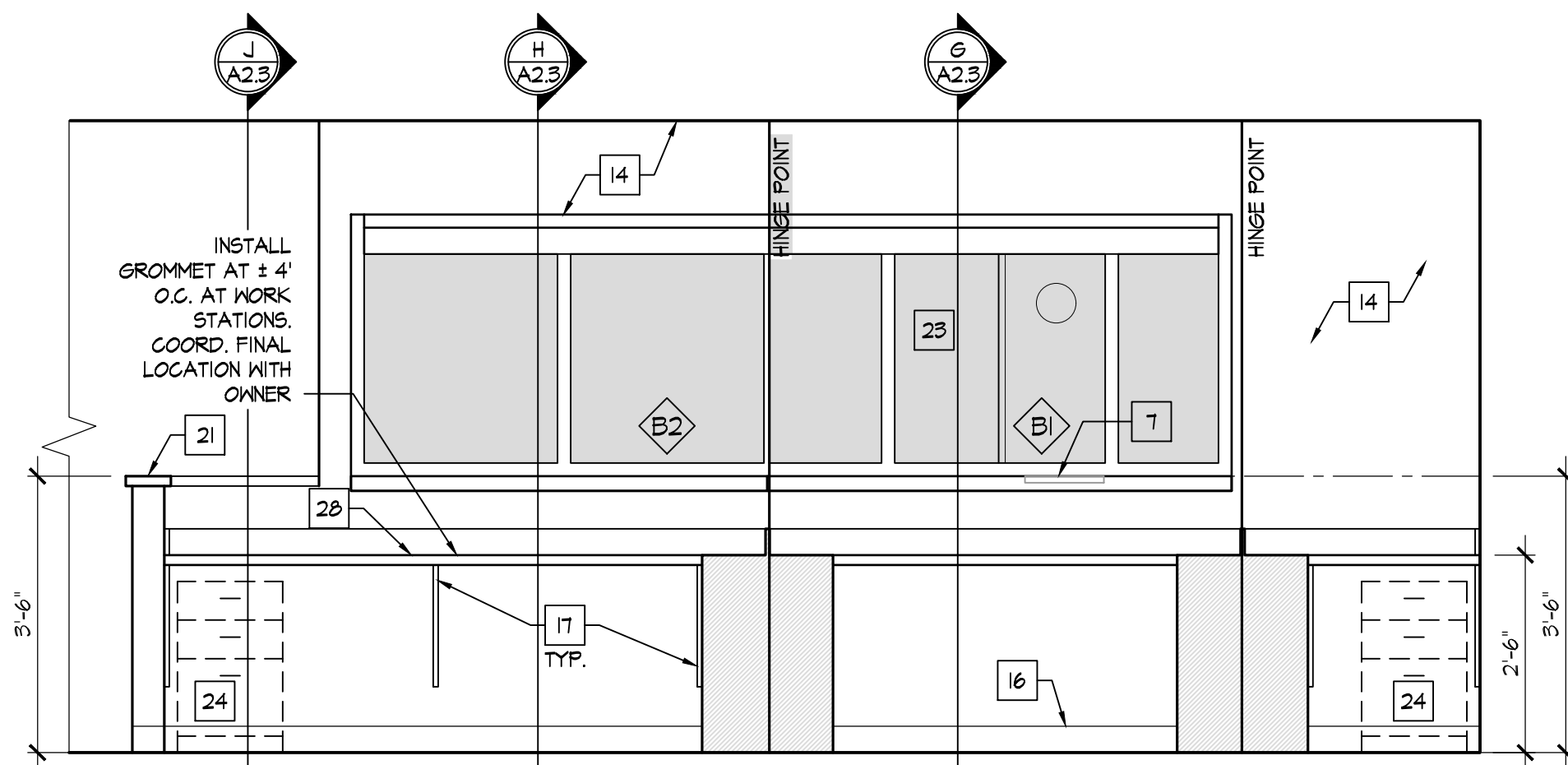
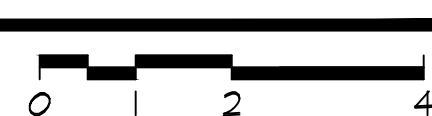




1

## PAYMENT 124 INTERIOR ELEVATIONS

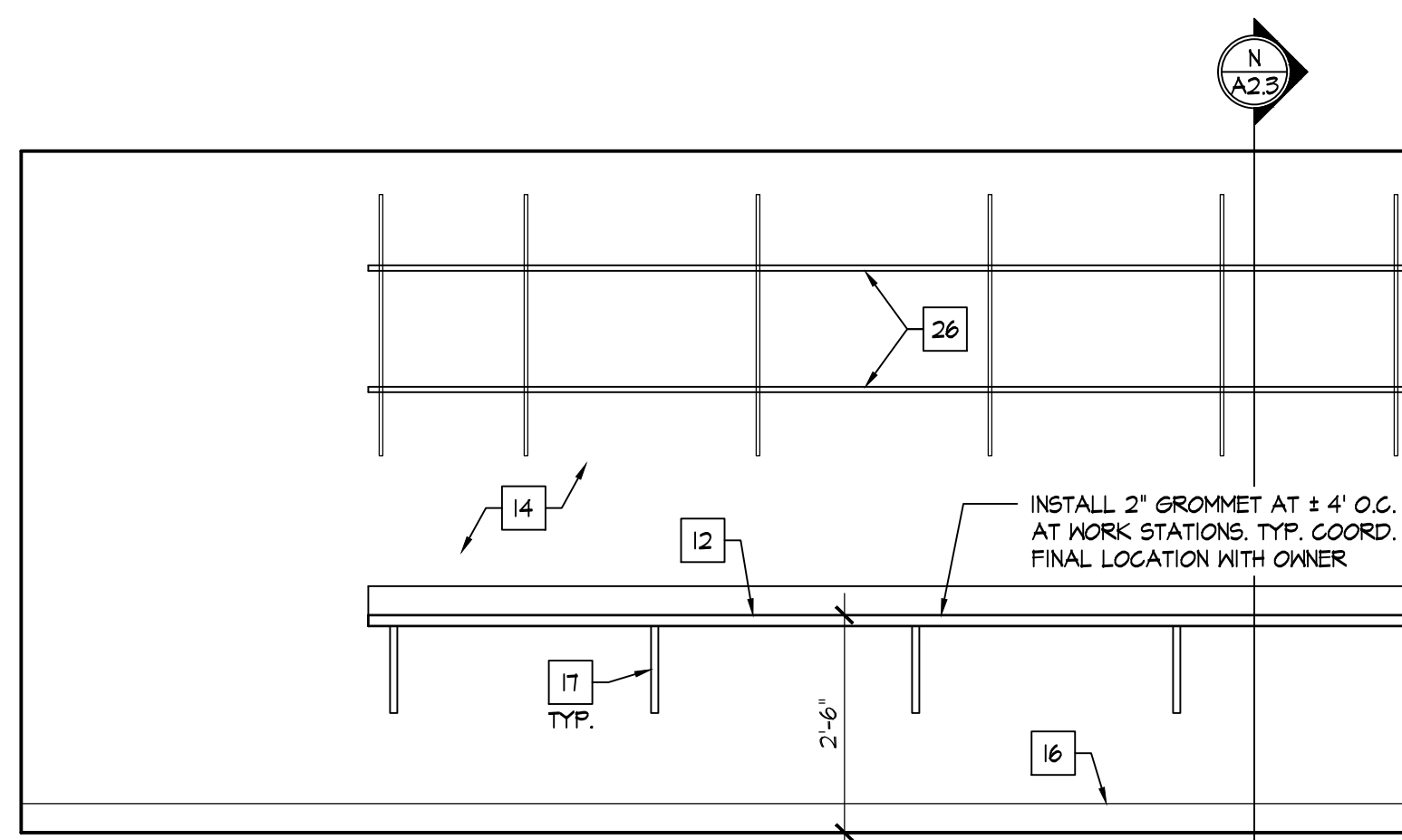
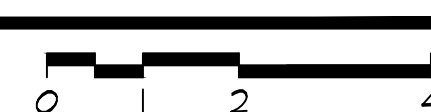
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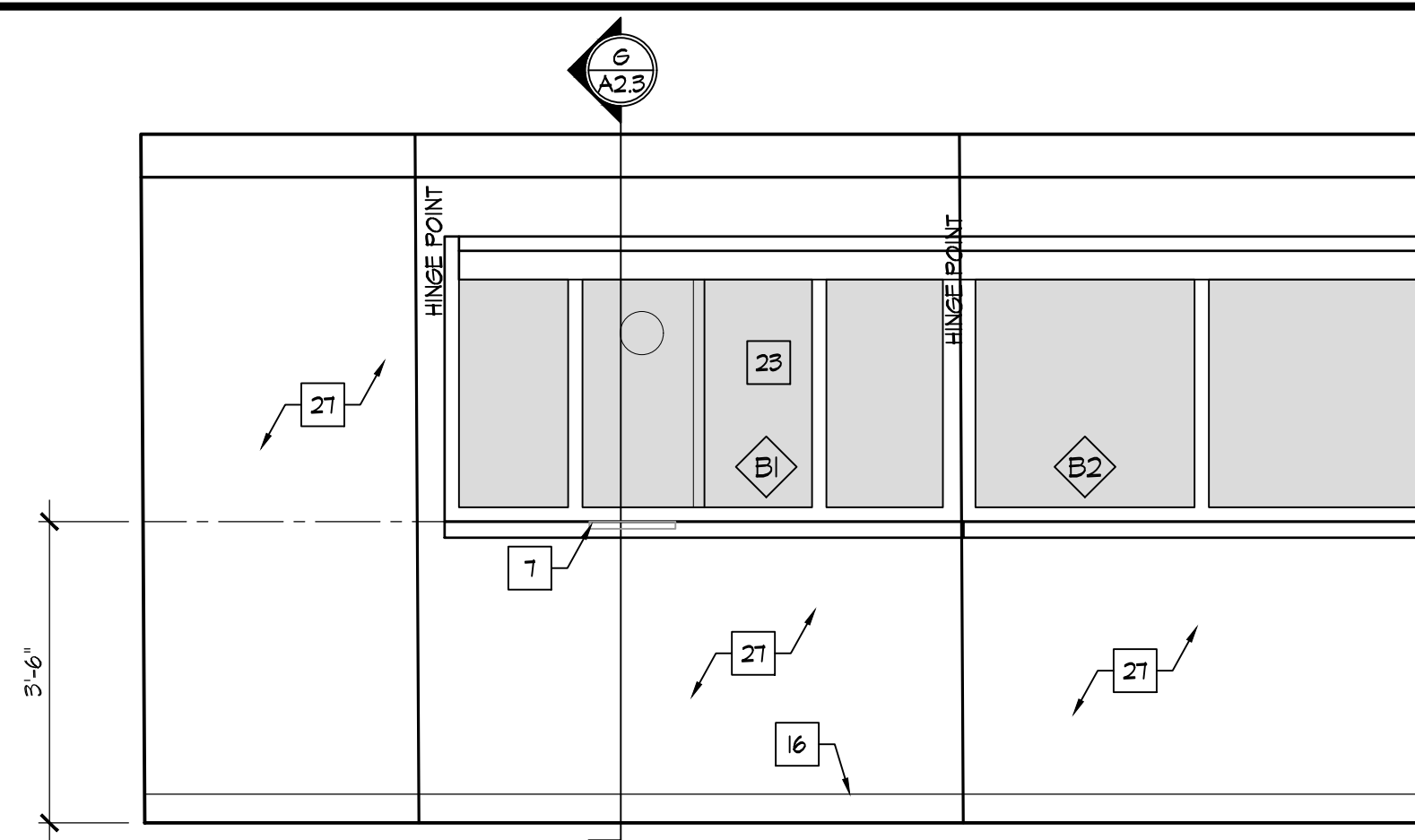
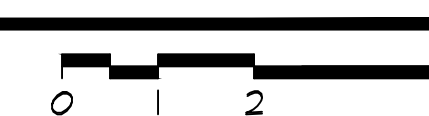
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5

## IT 104 INTERIOR ELEVATIONS

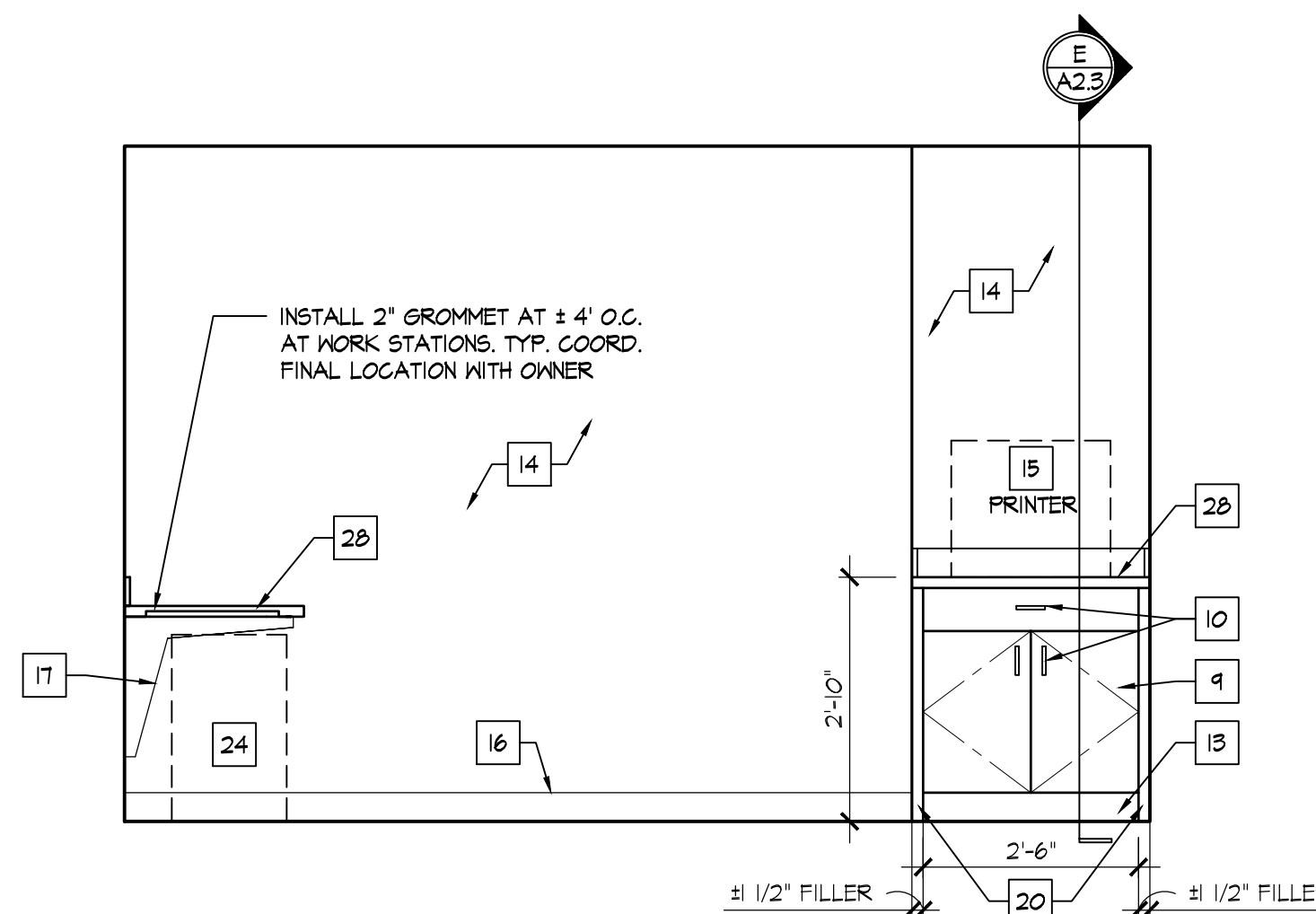
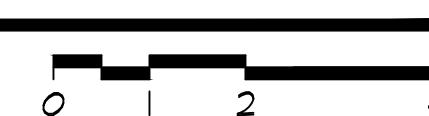
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2

## WAITING 102 INTERIOR ELEVATIONS

SCALE: 1/2" = 1'-0"



4

- \* NOT ALL NOTES MAY BE USED ON THIS SHEET
- # INTERIOR ELEVATION KEY NOTES
- 5/8" MOISTURE RESISTANT GYP. BD. AT ALL WALLS. PREP AND PAINT.
  - DOOR/FRAME - REFER TO DOOR SCHEDULE.
  - ACCESSIBLE WATER CLOSET. NOTE THAT LEVER SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
  - PROVIDE 2x8 FRT BLOCKING WHERE REQ'D AT ALL TOILET ACCESSORIES, TYPICAL.
  - TOILET ROOM ACCESSORIES, TYP. REFER TO SCHEDULE.
  - ACCESSIBLE WALL HING LAVATORY AND FAUCET.
  - 18" DEEP SOLID SURFACE COUNTER BELOW BALLISTIC WINDOW [SS-1] WITH WALL BRACKETS [BASIS OF DESIGN: KNAPE AND VOGT DECORATIVE BRACKET RP-0083010BK].
  - 12" DEEP SOLID SURFACE ADA WRITING COUNTER WITH WALL BRACKET SUPPORTS [SS-1].
  - PLASTIC LAMINATE BASE / WALL CABINETS W/ ADJUSTABLE SHELVING, WHITE MELAMINE INTERIOR [PLAM-2].
  - 4" WIRE PULL.
  - STAINLESS STEEL SINK/FAUCET. REFER TO PLUMBING DRAWINGS.
  - PLASTIC LAMINATE COUNTERTOP AND 4" BACKSLASH/ENDSLASH [PLAM-1].
  - TOE KICK, RB-1.
  - PAINTED GYPSUM BOARD, REFER TO FINISHES PLAN.
  - EQUIPMENT, BY OWNER.
  - FINISH WALL BASE, AS SCHEDULED.
  - COUNTERTOP SUPPORT BRACKET - PROVIDE FRT BLOCKING IN WALL AS REQ'D.
  - GFI RECEPT AT 48" AFF. COORD WITH ELECTRICAL DRAWINGS.
  - PLASTIC LAMINATE REMOVABLE PRIVACY PANEL [ADA] [PLAM-2].
  - FILLER/SCRIBE CUT TO FIT. PLASTIC LAMINATE TO MATCH CABINETS.
  - SOLID SURFACE COUNTER / WALL CAP [SS-1].
  - PLASTIC LAMINATE FINISHED END PANEL [PLAM-2].
  - BALLISTIC TRANSACTION WINDOW - REFER TO WINDOW SCHEDULE.
  - FURNITURE, BY OWNER.
  - PLASTIC LAMINATE SHELVING UNIT - ALL SURFACES PLAM-1.
  - 3/4" TH. x 14" DEEP WHITE MELAMINE SHELVES ON ADJUSTABLE STANDARDS.
  - WALL COVERING LOCATION, REFER TO FINISHES PLAN.
  - SOLID SURFACE COUNTERTOP W/ 4" BACKSLASH [SS-1].

## MISC. FINISH SPECIFICATIONS

- SS-1: SOLID SURFACE COUNTER  
MANUF: WILSONART  
COLOR: NIGHT STARS 9105G5
- PLAM-1: PLASTIC LAMINATE COUNTER  
MANUF: WILSONART  
COLOR: MISTED ZEPHYR
- PLAM-2: PLASTIC LAMINATE CABINET / BASE  
MANUF: WILSONART  
COLOR: MORELIA MANGO
- ALL FINISHES TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING.

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03/06/23 Final Review  
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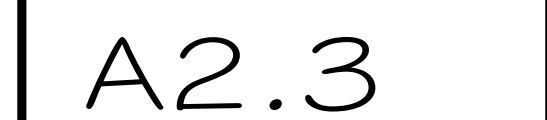
Project Number  
2020-149  
Date  
March 29, 2023  
Sheet Title  
INTERIOR ELEVATIONS

Sheet Number

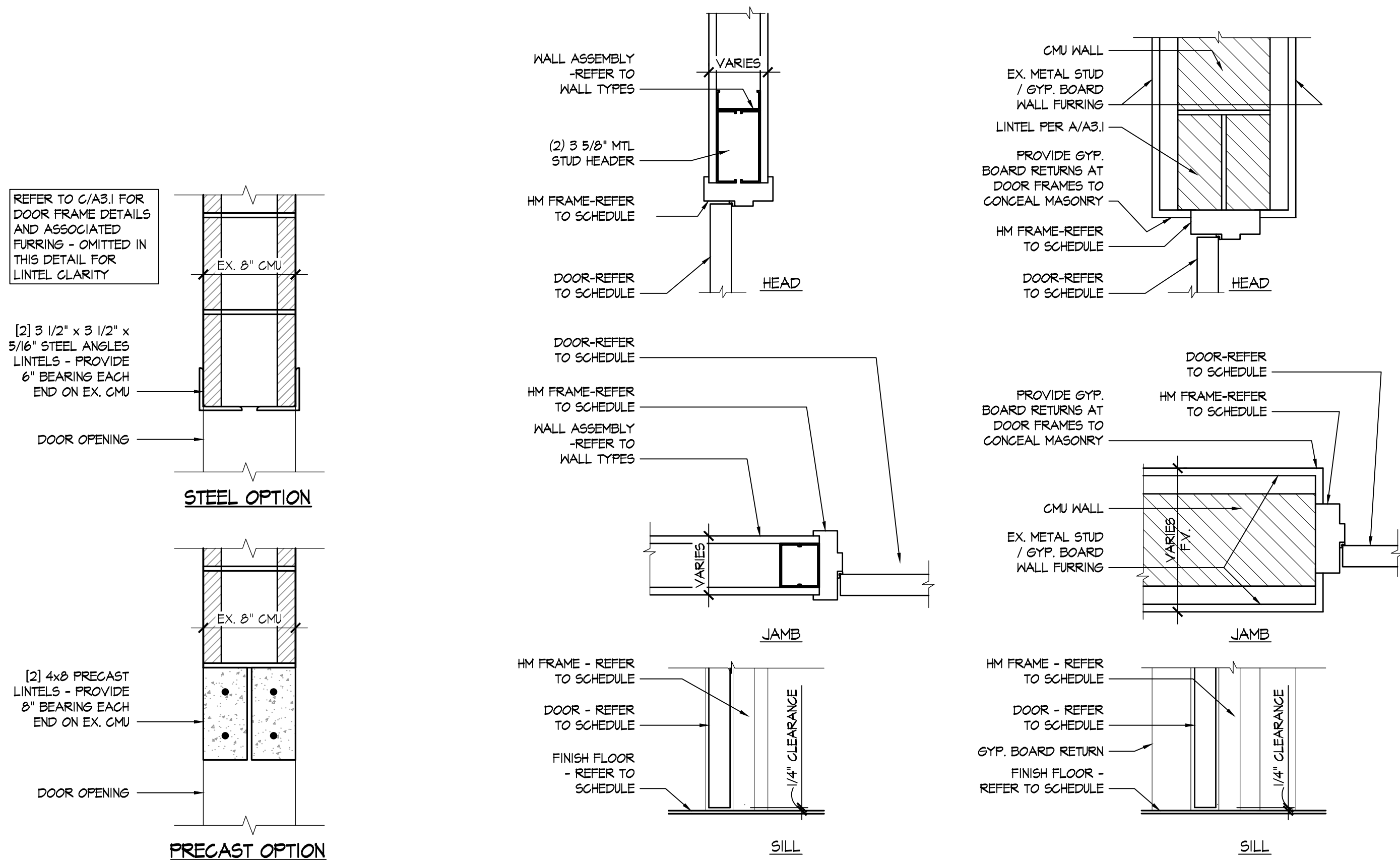
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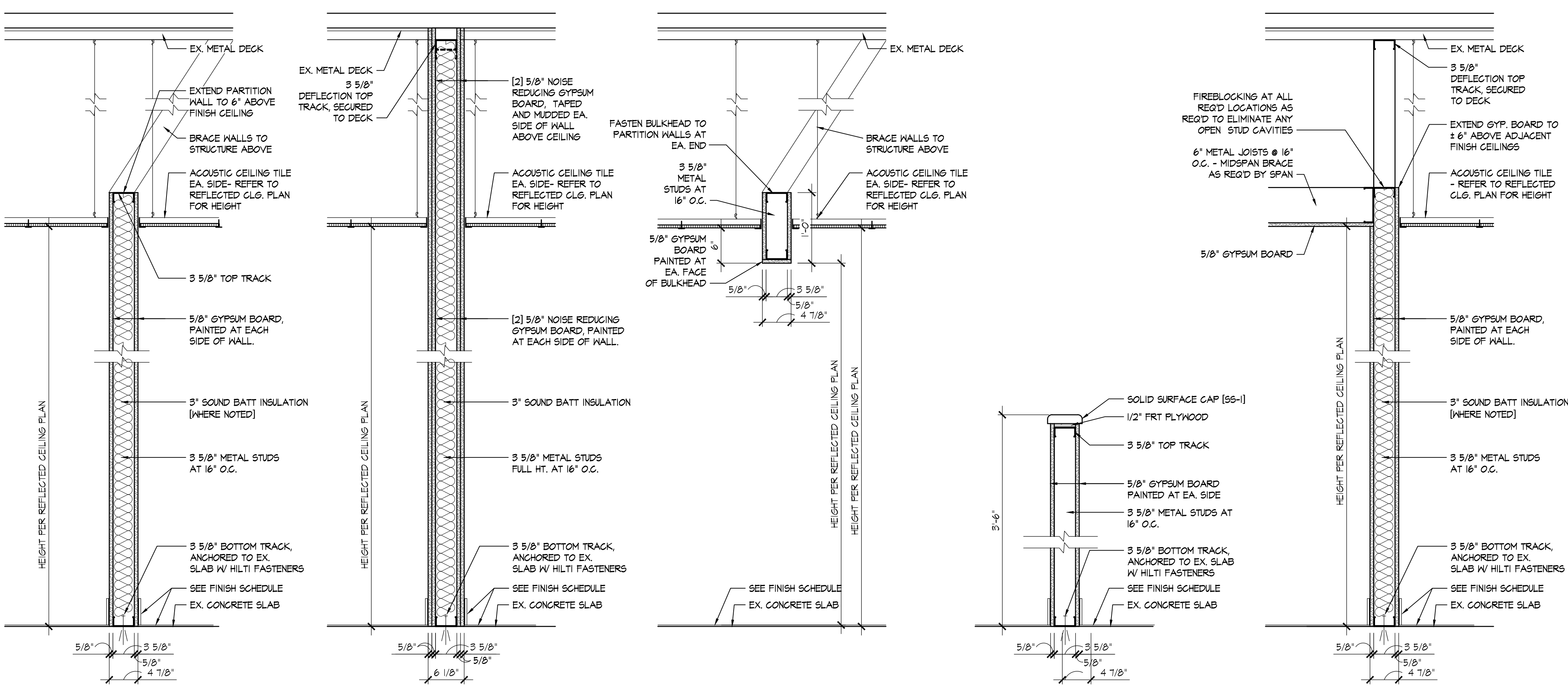




**A LINTEL DETAILS**  
SCALE: 1 1/2" = 1'-0"

**B METAL STUD DOOR FRAME DETAILS**  
SCALE: 1 1/2" = 1'-0"

**C CMU DOOR FRAME DETAILS**  
SCALE: 1 1/2" = 1'-0"



**D SECTION**  
SCALE: 1" = 1'-0"

**E SECTION**  
SCALE: 1" = 1'-0"

**F SECTION**  
SCALE: 1" = 1'-0"

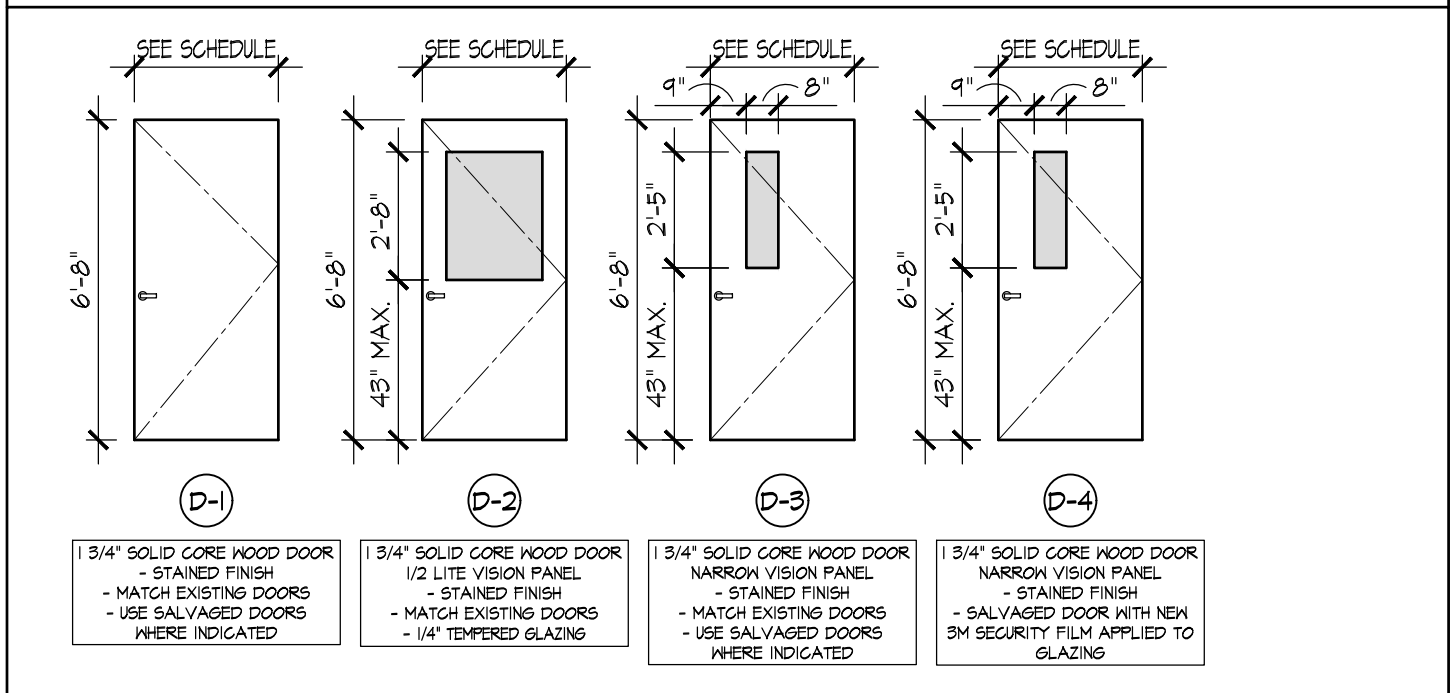
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SCALE: 1" = 1'-0"

**H SECTION**  
SCALE: 1" = 1'-0"

**DOOR SCHEDULE**

#	SIZE	NEW	EXISTING	SALVAGED	FRAME TYPE	DOOR TYPE	HWDR SET #	FIRE RATG	REMARKS
102	3'-0" X 6'-8"				F-1	D-4	H-3	-	
107	3'-0" X 6'-8"				F-1	D-1	H-6	-	
108A	3'-0" X 6'-8"				F-1	D-1	H-7	-	
108B	3'-0" X 6'-8"				F-1	D-1	H-4	-	
109	3'-0" X 6'-8"				F-1	D-1	H-8	-	
110	3'-0" X 6'-8"				F-2	D-1	H-8	-	
111	3'-0" X 6'-8"				F-1	D-1	H-4	-	
112	3'-0" X 6'-8"				F-1	D-1	H-5	-	
113	3'-0" X 6'-8"				EX.	EX.	H-11	-	NO WORK
114A	3'-0" X 6'-8"				F-1	D-3	H-1	-	
114B	3'-0" X 6'-8"				F-2	D-1	H-2	-	
115	3'-0" X 6'-8"				F-1	D-1	H-8	-	
116	3'-0" X 6'-8"				F-1	D-1	H-10	-	
119	3'-0" X 6'-8"				F-1	D-1	H-10	-	
120	3'-0" X 6'-8"				EX.	EX.	EX.	-	NO WORK
121	3'-0" X 6'-8"				EX.	EX.	H-11	-	NO WORK
122	3'-0" X 6'-8"				EX.	EX.	H-11	-	NO WORK
123	3'-0" X 6'-8"				EX.	EX.	H-11	-	NO WORK - COORD. CARD READER WITH OWNER'S SECURITY CONSULTANT
124A	3'-0" X 6'-8"				EX.	EX.	H-11	-	NO WORK
124B	3'-0" X 6'-8"				F-2	D-2	H-8	-	

**DOOR TYPES**



**FRAME TYPES**

(F-1) HOLLOW METAL FRAME (M.S.)	(F-2) HOLLOW METAL FRAME W/ 4" HEAD (CMU)
---------------------------------	---

**HARDWARE TYPES**

<b>H-1 - Doors: 114A</b>			
2 Hinge, Full Mortise	TA2714 NRP	US10BE	MK
1 Electric Hinge	TA2714-QC8	US10BE	MK
1 Fail Secure Lock	RX 21 28 10G71 LL GMK	US10BE	SA
1 Surface Closer	TB 351 O/P9	EB	SA
1 Wall Stop	403	US10BE	RO
1 Gasketing	S44D		PE
1 Wiring Harness (FRAME)	QC-C1500P		MK
1 Wiring Harness (DOOR)	QC-C___P as required		MK
1 Card Reader	By security		OT
1 Wiring & Riser Diagram	By hardware supplier		OT
1 Door Position Switch	DPS-M-BK		SU
1 Power Supply	AQD as required		SU
<b>H-2 - Doors: 114B</b>			
2 Hinge, Full Mortise	TA2714	US10BE	MK
1 Electric Hinge	TA2714-QC8	US10BE	MK
1 Fail Secure Lock	RX 21 28 10G71 LL GMK	US10BE	SA
1 Surface Closer (STOP)	TB 351 CPS	EB	SA
1 Gasketing	S44D		PE
1 Wiring Harness (FRAME)	QC-C1500P		MK
1 Wiring Harness (DOOR)	QC-C___P as required		MK
1 Card Reader	By security		OT
1 Wiring & Riser Diagram	By hardware supplier		OT
1 Door Position Switch	DPS-M-BK		SU
1 Power Supply	AQD as required		SU
<b>H-3 - Doors: 102</b>			
3 Hinge, Full Mortise	TA2714 NRP	US10BE	MK
1 Storeroom Lock	21 10XG04 LL GMK	US10BE	SA
1 Electric Strike	1600-CS	613E	HS
1 SMART Pac Bridge Rectifier	2005M3		HS
1 Surface Closer	TB 351 O/P9	EB	SA
1 Wall Stop	403	US10BE	RO
1 Gasketing	S44D		PE
1 Wiring Harness (FRAME)	QC-C1500P		MK
1 Card Reader	By security		OT
1 Wiring & Riser Diagram	By hardware supplier		OT
1 Door Position Switch	DPS-M-BK		SU
1 Motion Sensor	XMS (inhibits door alerts)		SU
1 Power Supply	AQD as required		SU
<b>H-4 - Doors: 111</b>			
3 Hinge, Full Mortise	TA2714	US10BE	MK
1 Storeroom Lock	21 10XG04 LL GMK	US10BE	SA
1 Wall Stop	403	US10BE	RO
3 Silencer	608-RKW		RO
<b>H-5 - Doors: 112</b>			
3 Hinge, Full Mortise	TA2714 NRP	US10BE	MK
1 Storeroom Lock	21 10XG04 LL GMK	US10BE	SA
1 Surf Overhead Stop	613	613	RF
3 Silencer	608-RKW		RO
<b>H-6 - Doors: 107</b>			
3 Hinge, Full Mortise	TA2714 NRP	US10BE	MK
1 Storeroom Lock	21 10XG04 LL GMK	US10BE	SA
1 Surface Closer	TB 351 O/P9	EB	SA
1 Wall Stop	403	US10BE	RO
3 Silencer	608-RKW		RO
<b>H-7 - Doors: 108A</b>			
3 Hinge, Full Mortise	TA2714	US10BE	MK
1 Entry/Office Lock	21 10XG05 LL GMK	US10BE	SA
1 Wall Stop	403	US10BE	RO
1 Acoustic Seal Set	PEMKOSTCSET-3A	BL	PE
<b>H-8 - Doors: 109, 110, 115, 124B</b>			
3 Hinge, Full Mortise	TA2714	US10BE	MK
1 Entry/Office Lock	21 10XG05 LL GMK	US10BE	SA
1 Wall Stop	403	US10BE	RO
1 Gasketing	S44D		PE
<b>H-9 - Doors: 108B</b>			
3 Hinge, Full Mortise	TA2714 NRP	US10BE	MK
1 Entry/Office Lock	21 10XG05 LL GMK	US10BE	SA
1 Surface Closer	TB 351 O/P9	EB	SA
1 Wall Stop	403	US10BE	RO
1 Acoustic Seal Set	PEMKOSTCSET-3A	BL	PE
<b>H-10 - Doors: 118, 119</b>			
3 Hinge, Full Mortise	TA2714	US10BE	MK
1 Indicator Privacy Lock	LB V21 8266 LNL	US10BE	SA
1 Surface Closer	TB 351 O/P9	EB	SA
1 Kick Plate	K1050 10" CSK BEV	US10BE	RO
1 Mop Plate	K1050 6" CSK BEV	US10BE	RO
1 Wall Stop	403	US10BE	RO
1 Gasketing	S44D		PE
<b>H-11 - Doors: 113, 120, 121, 122, 123, 124A</b>			
1 Hardware	Existing to remain		OT

- NOTES:**
- FINAL HARDWARE OPERATION AS DIRECTED BY OWNER.
  - CLEARANCES PER "MANEUVERING CLEARANCES AT DOORS" DIAGRAM, BASED UPON FIGURE 404.2.3.2 ANSI. COORDINATE ANY CONFLICTS WITH THE ARCHITECT.
  - COORDINATE DOOR/FRAME TYPES, STYLE, FINISH WITH OWNER.
  - HARDWARE SHALL MATCH BUILDING STANDARD.
  - ALL HARDWARE SHALL BE LEVER TYPE, MATCH BUILDING STANDARD, F.V.
  - ALL HARDWARE TO COMPLY WITH THE LATEST REQUIREMENTS OF THE OHIO BUILDING CODE, ADAAG, NFPA, NEC AND OTHER APPLICABLE REGULATORY AGENCIES. THE HARDWARE SUPPLIER SHALL COORDINATE STYLE, FINISH, AND OPERATION REQUIREMENTS WITH THE OWNER.
  - THE HARDWARE SUPPLIER SHALL COORDINATE THE KEYING REQUIREMENTS WITH THE OWNER.
  - DOOR ACCESSORIES SUCH AS CLOSERS, KICK PLATES, DOOR STOPS (WALL OR FLUSH MOUNTED), THRESHOLDS, ETC. AS DIRECTED BY THE OWNER. PROVIDE WALL OR FLOOR STOP AT EACH DOOR.
  - ALL NEW AND EXISTING HOLLOW METAL DOOR FRAMES TO BE PAINTED NEW PNT-2.

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**JONATHAN ROBERT SCHAAF**  
14503  
EXPIRED ARCHITECT

Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2023

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Phase I Modernization for:

**City of Moraine Municipal Building**

4200 Dryden Road  
Moraine, OH 45439

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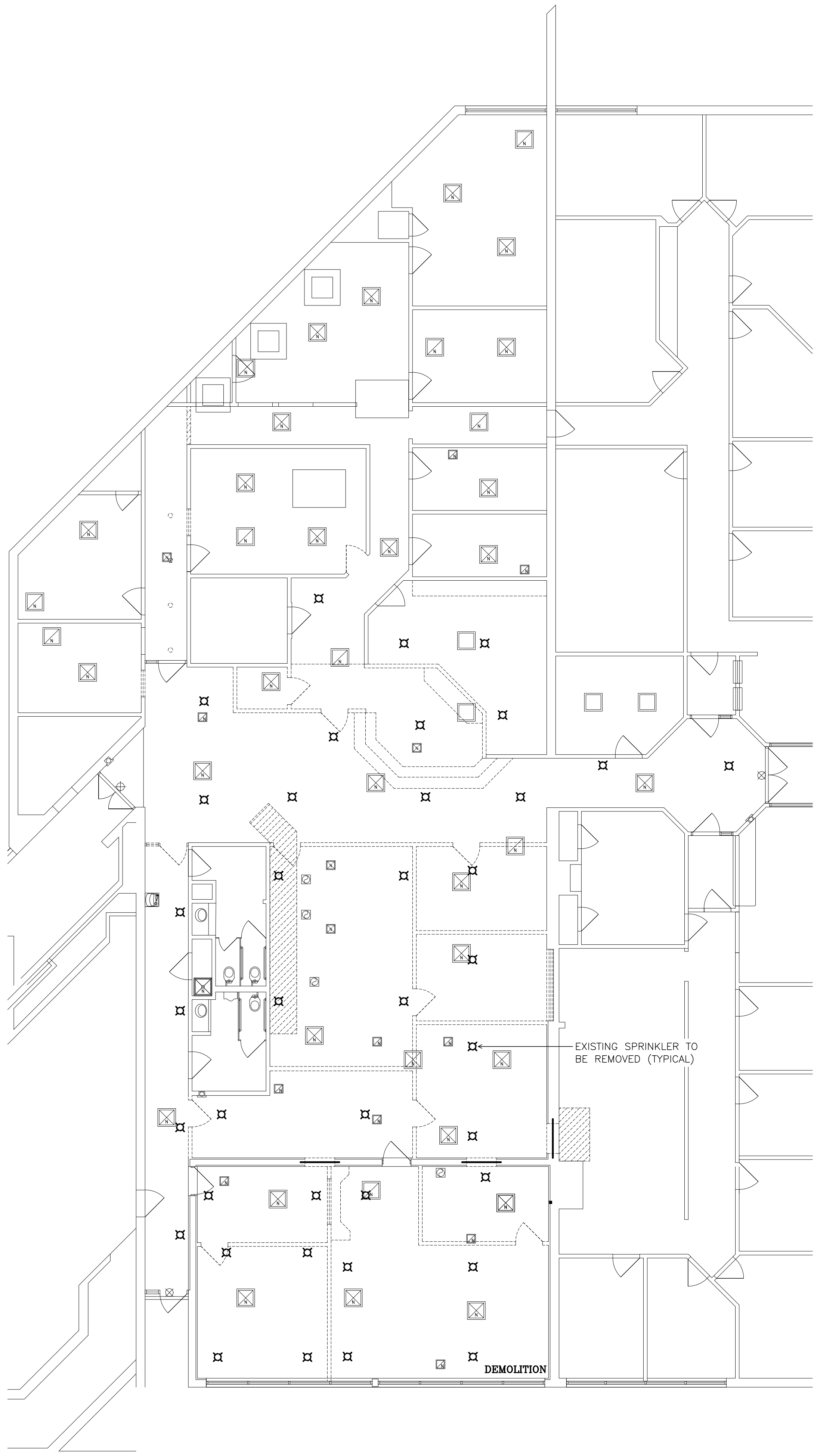
Project Number  
2020-149

Date  
March 29, 2023

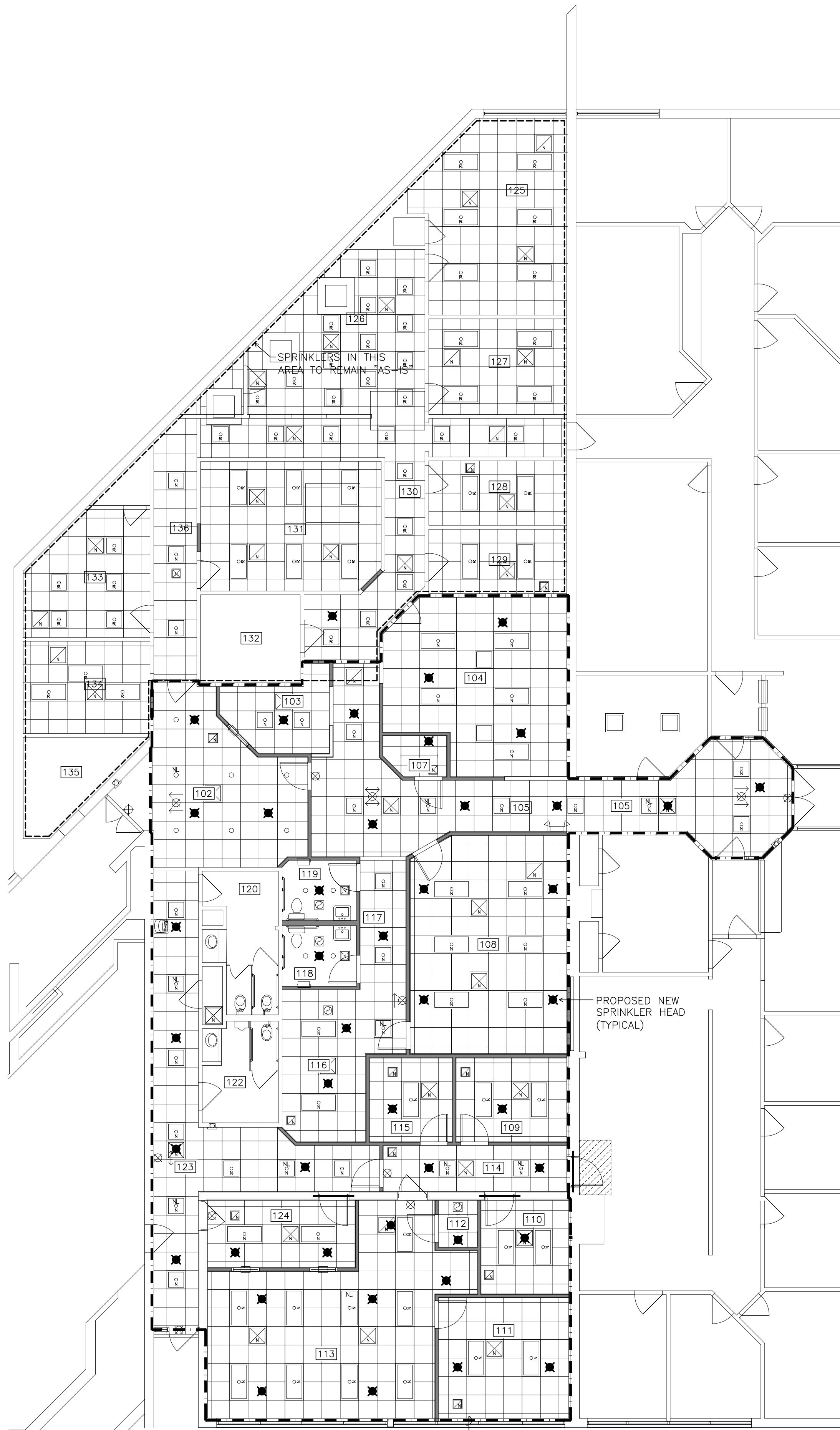
Sheet Title  
SCHEDULES AND DETAILS

Sheet Number  
**A3.1**





FLOOR PLAN  
SCALE: 1/8" = 1'-0"



NOTE  
A SUGGESTED SPRINKLER HEAD ARRANGEMENT IS SHOWN IN THIS VIEW TO ACCOMMODATE NEW CONSTRUCTION. CLOSELY COORDINATE NEW SPRINKLER PIPING WITH NEW DUCTWORK AND LIGHTING LAYOUTS IN FINISHED CEILING AREA. VERIFY EXACT REQUIREMENTS AT JOB SITE.

REVISED  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"

### SPRINKLER GENERAL NOTES

- 1 SPRINKLER SYSTEM DESIGN SHALL BE BASED ON LIGHT HAZARD REQUIREMENTS UNLESS OTHERWISE INDICATED. SPRINKLER SYSTEM IS LIMITED TO A MAXIMUM OF 225 SQ. FT. PER SPRINKLER. 1500 SQ. FT. AREA OF OPERATION. 165 DEGREE TEMPERATURE RATED HEAD. CONTRACTOR SHALL VERIFY SAFETY MARGIN REQUIRED FOR WATER SUPPLY WITH LOCAL AUTHORITY HAVING JURISDICTION.
- 2 CONTRACTOR SHALL VERIFY ALL EXISTING SERVICES AND/OR ANY SERVICES INSTALLED UNDER SEPARATE CONTRACT BEFORE STARTING ANY WORK THAT MAY PERTAIN TO SAME SERVICE.
- 3 THIS CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL HORIZONTAL AND VERTICAL PIPING WITH ALL OTHER TRADES AND SHIFT LOCATION WHERE REQUIRED.
- 4 WHEN CAPACITY OF TRAPPED SECTION OF PIPE IS (5) GALLONS OR LESS, AUXILIARY DRAIN SHALL CONSIST OF A 1" NIPPLE AND CAP OR BRASS PLUG. WHEN CAPACITY OF TRAPPED SECTION OF PIPE EXCEED (5) GALLONS, THE AUXILIARY DRAIN SHALL CONSIST OF A 1" VALVE COMPLETE WITH FIXED PIPING TO COMBINATION DRAIN PIPING AT STANDPIPES WHICH SHALL DRAIN TO AN APPROVED LOCATION.
- 5 THIS CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF EXISTING SERVICES WHEN NEW CONNECTIONS ARE MADE TO SAME.
- 6 SPRINKLER CONTRACTOR SHALL PROVIDE WATER FLOW TEST AND SUBMIT RESULTS TO ENGINEER. TEST RESULTS SHALL INDICATE TIME AND LOCATION OF TEST. FLOW RATE OF TEST SHALL EXCEED FLOW REQUIRED FOR SYSTEM BY A MINIMUM OF 50% UNLESS OTHERWISE APPROVED BY ENGINEER.
- 7 NEW SPRINKLERS IN FINISHED CEILING AREAS SHALL BE DECORATIVE CONCEALED PENDENT TYPE WITH COVER PLATE ASSEMBLY TO MATCH EXISTING.
- 8 ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 13 AND FACTORY MUTUAL GUIDELINES. ALL NEW PIPING SHALL BE THREADED SCHEDULE 40 STEEL CONFORMING TO ASTM A53 STANDARDS WITH CAST IRON FITTINGS MANUFACTURED ACCORDING TO ANSI B16.4 FROM MATERIAL CONFORMING TO ASTM A126, CLASS B. NIPPLE CONNECTION AT EXISTING SPRINKLER FITTING SHALL NOT EXCEED 4" IN LENGTH AS REQUIRED BY NFPA 13 - SECTION 5-13.20. NEW SPRINKLERS, ESCUTCHEONS, PIPE HANGERS, ECT. SHALL MATCH EXISTING EXACT CONDITIONS AT JOB SITE.
- 9 ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 13 AND OWNER'S INSURANCE CARRIER'S GUIDELINES. ALL NEW PIPING 2" AND UNDER SHALL BE THREADED SCHEDULE 40 STEEL CONFORMING TO ASTM A53 STANDARDS WITH CAST IRON FITTINGS MANUFACTURED ACCORDING TO ANSI B16.4 FROM MATERIAL CONFORMING TO ASTM A126, CLASS B. ALL NEW PIPING 2-1/2" AND OVER SHALL BE ROLL GROOVED SCHEDULE 10 STEEL CONFORMING TO ASTM A135 STANDARDS WITH MALLEABLE IRON OR WROUGHT SEAMLESS STEEL FITTINGS. GROOVED COUPLINGS SHALL PROVIDE FOR AN ALLOWABLE WORKING PRESSURE OF 175 PSI OR FOR SYSTEM REQUIREMENTS IN EXCESS OF THIS FIGURE AS DETERMINED BY JOB CONDITIONS.

### ROOM INDEX

100	NOT USED
101	ENTRY CORRIDOR
102	WAITING
103	RECEPTION
104	I.T.
105	CORRIDOR
106	NOT USED
107	STOR.
108	CONFERENCE
109	MAYOR OFFICE
110	PROSECUTOR
111	CLERK STOR.
112	I.T.
113	CLERK OPEN OFFICE
114	CORRIDOR
115	CONSULT
116	BREAK
117	CORRIDOR
118	MEN'S
119	WOMEN'S
120	WOMEN
121	JANITOR
122	MEN
123	CORRIDOR
124	PAYMENTS
125	CITY MANAGER
126	CITY MANAGER RECEPTIONIST
127	H.R.
128	STORAGE
129	CLERK OF COUNCIL STORAGE
130	CORRIDOR
131	CLERK OF COUNCIL
132	VAULT
133	COUNCIL CONFERENCE ROOM
134	A.V.
135	VENDING
136	CORRIDOR

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Phase I Modernization for:  
**City of Moraine Municipal Building**  
4200 Dryden Road  
Moraine, OH 45439

Print Record  
07/29/22 FINAL CHECK SET  
03/06/23 FINAL REVIEW

Project Numbers  
2020-149/G614  
Date  
JANUARY 28, 2022  
Sheet Title

SPRINKLER - PARTIAL  
FIRST FLOOR PLANS

Sheet Number

FP1-1



DRAIN SCHEDULE

OUTLET TYPES	OPTIONS	OPTIONS
A-NO HUB B-THREAD C-SIDE OUTLET	A-FLANGE B-CLAMP DEVICE C-SEDIMENT BUCKET D-EXTENSION E-DECK CLAMP F-BEARING PAN	J-HINGED COVER K-SOLID TOP L-POLISHED NICKEL BRONZE TOP
TOP TYPES	G-TRAP PRIMER TAPPING H-DUCTILE GRATE I-SQUARE GRATE	
A-NICKEL BRONZE B-POLISHED BRASS C-CAST IRON		

REF.	ZURN SERIES NO.	OUTLET SIZE	TYPE	TOP SIZE	TYPE	OPTIONS
FD-1	Z507	3	A	7	A	A,B,C,L

NOTE: PROVIDE A SURE SEAL DRAIN TRAP ON ALL FLOOR DRAINS TO MAINTAIN THE TRAP SEAL AS REQUIRED.

PLUMBING EQUIPMENT DATA

- A     TEMPERING VALVE
- ASSE 1070 LISTED SINK TEMPERING VLAVE TO LIMIT WATER TEMPERATURE TO 110 DEG F. WATTS "USG-6-M2-3/8" UNDERSINK GUARDIAN THERMOSTATIC MIXING VALVE.

PLUMBING FIXTURE SCHEDULE

REF	DESCRIPTION	MTG HGT	SUPPLIES		WASTE	TRAP	VENT
			HOT	COLD			
A1	WATER CLOSET-FS-TANK - ADA SEE SPECIFICATIONS BELOW	---	---	3/4	3	INT	1-1/2
C1	LAVATORY-WH-ADA SEE SPECIFICATIONS BELOW	34	1/2	1/2	1-1/2	1-1/2	1-1/2
C2	SINK - COUNTERTOP SEE SPECIFICATIONS BELOW	COUNTER	1/2	1/2	1-1/2	1-1/2	1-1/4

A1     WATER CLOSET - FLOOR SET - TANK - ADA - 1.28 GALLON FLUSH

- A.     Vitreous china, 16-1/2" high elongated bowl, close-coupled tank with left side trip lever in Room 119 & right-side lever trip in Room 118 and 1.28 gallon flush - American Standard "Cadet Pro Right Height" #215AA.104 Kohler "Highline" #K-3999-0.
- B.     Seat - heavy duty solid plastic, white, elongated, open front, cover, stainless steel posts, washers and nuts - Bemis #1950ST; Beneke #521HPSS; Centoco #820ST.

C1     LAVATORY - WALL HUNG - DUAL CONTROL - GRID - ADA

- A.     Vitreous china, 20" X 18" front overflow, backsplash and faucet holes on 8" centers (for concealed arms support) - American Standard "Lucerne" #0356.015; Kohler "Kingston" #K-2006-0.
- B.     Faucet - dual control combination with compression type valves with renewable seats or ceramic disc valve cartridges, 4" spout, 8" centers, metal lever handles, - T & S Brass #B-2990; American Standard "Heritage" #7298-152.002; Chicago #404A modified with #369 lever handles; Kohler "Triton II" #K-7443-K/K-16012-4;
- C.     Offset drain plug - cast brass body with integral open grid strainer, offset drain assembly, 1-1/4" tailpiece and chrome finish - American Standard #7723.018; BrassCraft #0702; Chicago #337; Zurn #Z-8746.
- D.     Trap - cast brass P-trap with 17 gauge tubing drain to wall, 1-1/4" inlet and 1-1/2" outlet, cleanout plug, escutcheon and chrome finish - Zurn #Z-8701-9; Kohler #K-8999-CP; McGuire #8902C.
- E.     Supplies - angle type with loose key stop, 3" nipple, 3/8" O.D. flexible tube riser, escutcheon and chrome finish - Zurn #Z-8800-LR-LK; McGuire #165LK.
- F.     Handicapped lavatory P-Trap, hot and cold angle stop assemblies shall be insulated with a fully molded vinyl cover. Abrasion exterior vinyl cover shall be smooth and have 1/8" minimum wall over cushion foam insert. Fasteners shall remain substantially out of sight. Zurn #Z-8946-3-NT; PLUMBEREX "Pro-Extreme" #X4444; Dearborn #ADA100.
- G.     Carrier - rectangular tube upright supports with steel plate base and concealed arms. Zurn #Z1231

C2     SINK - STAINLESS STEEL – SINGLE COMPARTMENT - SWING SPOUT - BASKET

- A.     Self-rimming, 18-gauge, type 302 (18-8) nickel bearing stainless steel, 15" X 18" X 7-1/2" with sound deadening and three (3) faucet holes - Elkay "Lustertone" #LR-1517; Just "Stylis" #SL-1815-A-GR.
- B.     Faucet - single lever handle with replaceable washerless cartridge, swing spout, 8" centers, aerator and chrome finish - American Standard "Reliant + " #4205.000; Kohler "Coralais" #K-15171-F-CP; Symmons "Symmetrix" #S-23; T&S Brass Co. B-2731.
- C.     Drain - stainless steel crumb cup strainer with removable basket, rubber seat stopper and 1-1/2" tailpiece - Dearborn #10T; Elkay #LK-99; Just #JB99; Engineered Brass Co. #SB8D; Zurn Z-8741.
- D.     Trap - Cast brass P-trap with 17-gauge tubing drain to wall, 1-1/2" inlet and outlet, cleanout plug, escutcheon and chrome finish - Brass Craft #0030; Crane #B-5260; Dearborn #510; Kohler #K-9000; McGuire #8912; Zurn #Z-8702-9.
- E.     Supplies - angle type with loose key stop, 3" nipple, 3/8" O.D. flexible tube riser, escutcheon and chrome finish - Brass Craft #SR1512AC; McGuire #165LK; Zurn #Z-8800-XL-LR-LK.

PLUMBING LEGEND

- COLD WATER SUPPLY
- HOT WATER SUPPLY - 110'
- HOT WATER RETURN - 110'
- SOIL AND/OR WASTE
- co o ----- CLEANOUT - FLOOR OR GRADE
- 100 ROOM NUMBER DESIGNATION
- 1 DESIGNATES REFERENCE TO PLUMBING NOTES
- BALL VALVE
- ⊗ FLOOR DRAIN

PLUMBING GENERAL NOTES

- 1 THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL HORIZONTAL AND VERTICAL PIPING WITH ALL OTHER TRADES AND SHIFT LOCATION WHERE REQUIRED.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF SANITARY, AND WATER SYSTEMS. TESTING SHALL BE PER CODE AND LOCAL INSPECTION AGENCY REQUIREMENTS.
- 3 THE CONTRACTOR SHALL VERIFY ALL SERVICES AND THEIR INVERTS.
- 4 VERIFY ALL FIXTURE AND EQUIPMENT LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- 5 THE CONTRACTOR SHALL VERIFY PLUMBING FIXTURE MOUNTING HEIGHTS WITH ARCHITECT / ARCHITECTURAL DRAWINGS. FIXTURES REQUIRING HANDICAPPED ACCESS SHALL BE INSTALLED PER OBBC ACCESSIBILITY GUIDELINES.
- 6 ALL DOMESTIC HOT AND COLD WATER LINES SHALL BE INSULATED PRESS-FIT OR SOLDERED TYPE "L" COPPER.
- 7 ALL ROOF AND WALL FLASHINGS BY GC.
- 8 PLUMBING CONTACTOR TO REVIEW HVAC DRAWINGS AND NOTES FOR GAS AND CONDENSATE PIPING WORK TO BE COVERED IN PLUMBING CONTRACTOR'S BID PROPOSAL.

PLUMBING - SHEET INDEX

- P0.1 PLUMBING - LEGEND, GENERAL NOTES, EQUIPMENT DATA & SCHEDULE
- P1.1 PLUMBING - PARTIAL FIRST FLOOR PLANS DEMOLITION & REVISED

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PLUMBING – LEGEND,  
GENERAL NOTES,  
EQUIPMENT DATA &  
SCHEDULE

Sheet Number

P0-1

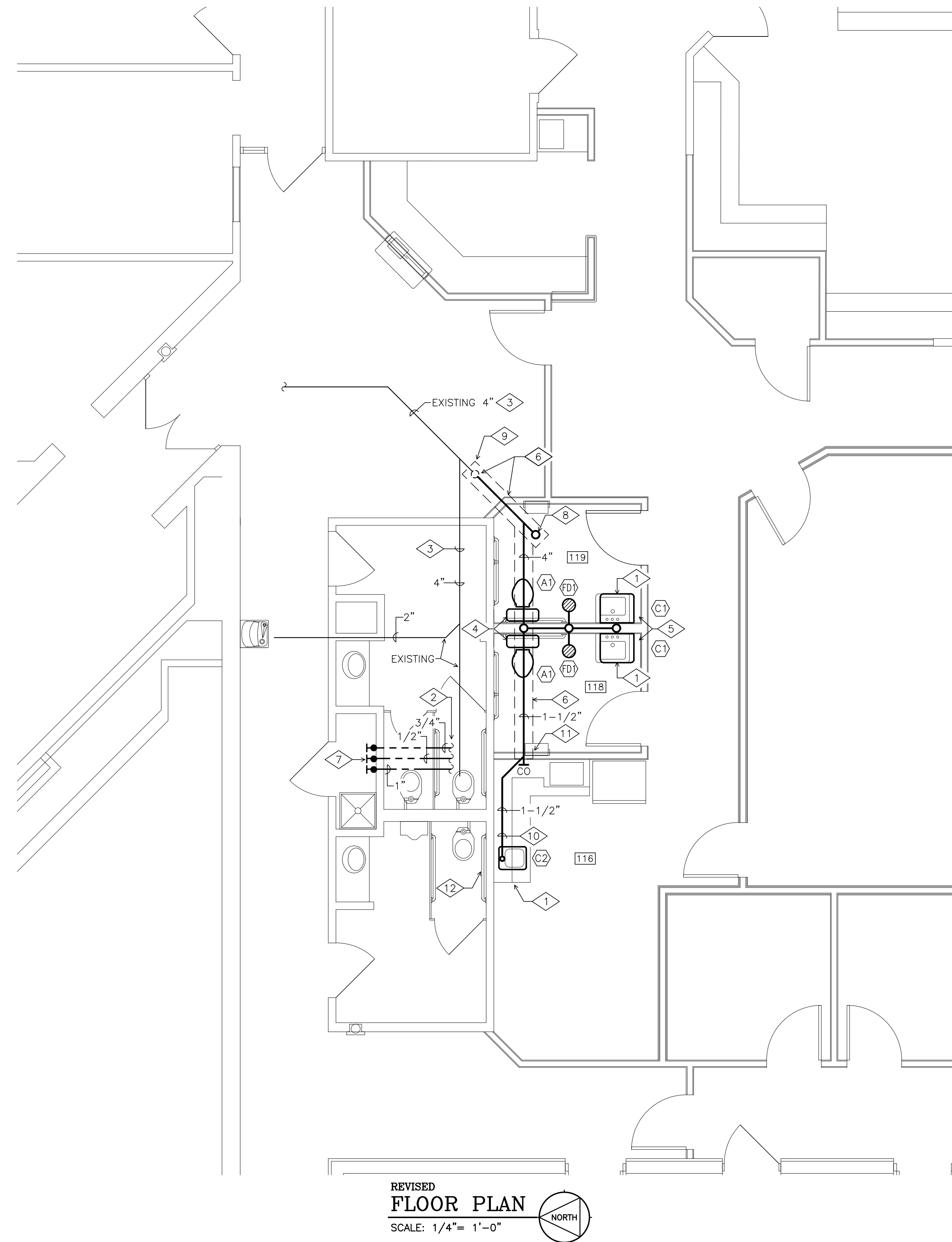




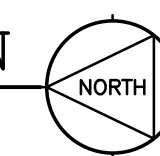
- ROOM INDEX

- 

NOT TO SCALE



SCALE: 1/4" = 1'-0"



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Date \_\_\_\_\_

JANUARY 28, 2022

Sheet Title

PLUMBING - PARTIAL  
FIRST FLOOR PLANS  
DEMOLITION & REVISED

Sheet Number

P1-1



HVAC NOTES ◇

- AFTER ELECTRICAL CONTRACTOR REMOVES ELECTRICAL POWER AND CONTROL WIRING REMOVE EXISTING EXHAUST FAN AND CURB. ROOFING CONTRACTOR SHALL PROVIDE DECK CLOSURE PLATE, INSULATE AND REPAIR ROOF TO MATCH EXISTING.
- EXISTING 3-TON GAS FIRED ROOFTOP UNIT TO REMAIN. RECONFIGURE DUCTWORK AS SHOWN ON SHEET H1-1.
- ROOFING SUBCONTRACTOR SHALL RE-FLASH AND SEAL CURBS.
- PROVIDE CONDENSATE TRAP PER MANUFACTURER RECOMMENDATIONS, WITH HAND-TIGHT PLUGS.
- EXISTING TOILET ROOM EXHAUST FAN, AIR DEVICES, AND DUCTWORK TO REMAIN.
- REMOVE DUCTWORK, AIR DEVICES, AND TERMINAL AIR BOXES SHOWN IN DASHED LINES.
- REMOVE ALL HOT WATER SUPPLY AND RETURN PIPING.
- PROVIDE 90 DEG. ELBOW WITH FLEX CONNECTOR AT FAN DISCHARGE AND EXTEND EXHAUST DUCT UP INTO CURB CAP PROVIDED WITH FAN PACKAGE. PROVIDE 2-1/2" FOIL FACED BATT INSULATION BETWEEN ROOF DECK AND FAN OUTLET. SEE FAN SCHEDULE.
- CAP EXISTING DUCT BRANCH AFTER REMOVAL OF DUCTWORK. (TYPICAL)
- EXISTING GAS PIPING ON ROOF TO REMAIN, SHOWN FOR REFERENCE ONLY.
- MAKE GAS PIPING CONNECTION TO EQUIPMENT AND PROVIDE AGA RATED BALL VALVE AND DIRT LEG AT BASE OF DROP. VERIFY EXACT CONNECTION REQUIREMENTS AT JOB SITE.
- PROVIDE PATE® "MULTIPLE PIPE CURB" AT ROOF PENETRATIONS, FOR REFRIGERANT AND CONDENSATE LINES AS WELL AS ELECTRICAL CONDUITS, COORDINATE WITH ELECTRICAL CONTRACTOR.
- PROVIDE EQUIPMENT SUPPORT AS MANUFACTURED BY PATE® MODEL "ES-5", OR APPROVED EQUAL BY RPS CORPORATION.
- FROM EACH CONDENSING UNIT, EXTEND SUCTION AND LIQUID REFRIGERATION LINES AS RECOMMENDED BY EQUIPMENT SUPPLIER. ALL PIPE SIZING SHALL BE BY EQUIPMENT SUPPLIER.
- MANUAL STARTER WITH PILOT LIGHT. SEE FAN SCHEDULE.
- PROVIDE NEW ELECTRIC WALL HEATER AND PATCH WALL AS REQUIRED. SEE EQUIPMENT DATA.
- CONNECT CONDENSATE PIPING TO HEAT PUMP AND EXTEND UP THROUGH ROOF. VERIFY CONDENSATE PIPE SIZE AND TRAP REQUIREMENTS WITH EQUIPMENT SUPPLIER AT JOB SITE.
- THIS PIPING LOCATED ABOVE CEILING AND/R UNDERSIDE OF STRUCTURE ABOVE.
- EXHAUST FAN EF-4 SHALL RELIEVE HEAT FROM IT CLOSET INTO CEILING PLENUM IN RESPONSE TO REVERSE ACTING THERMOSTAT PROVIDE WITH FAN PACKAGE. TCC TO PROVIDE INTERLOCK WIRING BETWEEN FAN AND STAT.
- CONNECT NEW 3/4" SCHEDULE 40 BLACK STEEL GAS LINE FOR AH-B TO 3" MAIN. VERIFY SIZE & PRESSURE AT MAIN. PROVIDE BALL VALVE SHUTOFF AT MAIN AND NEW REGULATOR AT UNIT. PRESSURE AT MAIN ASSUMED TO BE 2 PSIG. NATURAL GAS LOAD AT NEW AH UNIT IS 125 CFH.
- TEMPERATURE CONTROLS CONTRACTOR SHALL INTEGRATE NEW ZONE DAMPERS AND RTU WITH EXISTING I-VU BUILDING AUTOMATION SYSTEM. SEE ZONE DAMPER SCHEDULE.
- HARDWIRED THERMOSTAT FOR HP-1.
- HARDWIRED THERMOSTAT FOR HP-2.
- HARDWIRED THERMOSTAT FOR HP-3.
- HARDWIRED THERMOSTAT FOR HP-4.
- PLUMBING CONTRACTOR TO CLEAN, PRIME AND PAINT ALL NEW FUEL GAS PIPING WITH WITH 2 COATS OF BLACK EXTERIOR GRADE ENAMEL.
- AH-A BYPASS DAMPER. SEE ZONE DAMPER SCHEDULE.
- PROVIDE NEW FLEX AND RECONNECT NEW AIR DEVICE TO EXISTING DUCTWORK AND BALANCE TO AIR FLOW SHOWN.
- UNLESS OTHERWISE NOTED, REMOVE ALL EXISTING THERMOSTATS, WIRING AND/OR PNEUMATIC TUBING BACK TO SOURCE IN CONTRACT AREA.
- REMOVE FAN COIL THERMOSTAT AND RETURN TO OWNER.
- REMOVE FAN COIL UNITS, POWER, INTERLOCK WIRING AND ALL PIPING AND RETURN TO OWNER.
- EXISTING HOT WATER CABINET HEATER AND THERMOSTAT TO BE REMOVED.
- BYPASS DAMPER FOR AH-B. SEE ZONE DAMPER SCHEDULE AND AIR DEVICE SCHEDULE ITEM 16, SHEET H0-1.
- REMOVE I.T. ROOM CONDENSING UNITS AND ALL POWER AND REFRIGERANT PIPING. RETURN CONDENSING UNITS TO OWNER.

- NUMBER INDICATES AIR FLOW BALANCE QUANTITY IN CFM.
- REMOVE EXISTING THERMOSTAT AND RETURN TO OWNER.
- REMOVE ALL DUCTWORK AND AIR DEVICES IN THIS AREA.
- PROVIDE SMALL PLATE TO MATCH COLOR OF WALL AT OPENING LEFT BY THERMOSTAT REMOVAL.
- RUBBER PIPE SUPPORT WITH EMBEDDED UNISTRUT CHANNEL. DURA-BLOCK OR EQUAL.
- ADJUST HOT WATER BALANCING VALVE TO 89 GPM.
- ABOVE CEILING RETURN AIR TRANSFER DUCT. PROVIDE 2 - 12" X 12" ACOUSTICALLY LINED ELBOWS.
- GRAVITY BACKDRAFT DAMPER. SEE AIR DEVICE SCHEDULE.
- REMOVE ALL HIGH- AND LOW-PRESSURE DUCTWORK, AIR DEVICES, HOT WATER AND PNEUMATIC PIPING, VALVES, FITTINGS, COILS, CONTROLS, ETC. IN THIS AREA.
- CONNECT NEW 1/2" SCHEDULE 40 BLACK STEEL GAS LINE FOR AH-C TO 3" MAIN. VERIFY SIZE & PRESSURE AT MAIN. PROVIDE BALL VALVE SHUTOFF AT MAIN AND NEW REGULATOR AT UNIT. PRESSURE AT MAIN ASSUMED TO BE 2 PSIG. NATURAL GAS LOAD AT NEW AH UNIT IS 65 CFH.
- CONNECT NEW 1/2" SCHEDULE 40 BLACK STEEL GAS LINE FOR AH-D TO 3" MAIN. VERIFY SIZE & PRESSURE AT MAIN. PROVIDE BALL VALVE SHUTOFF AT MAIN AND NEW REGULATOR AT UNIT. PRESSURE AT MAIN ASSUMED TO BE 2 PSIG. NATURAL GAS LOAD AT NEW AH UNIT IS 110 CFH.
- CAP AND SEAL OPEN RETURN AIR DUCT ABOVE CEILING, AND ABANDON VERTICAL SECTION OF DUCT. RETURN DUCT SHOWN ON 1969 DRAWINGS IS 54" X 14".
- REMOVE 22" DIA. SPIRAL DUCT AND PROVIDE INSULATED CAP AND SEAL.
- 24" SUPPLY DUCT RISER TO REMAIN.
- REMOVE HOT WATER SUPPLY AND RETURN RISERS.
- EXISTING RETURN AIR RISER TO REMAIN.
- PROVIDE SADDLE AND NEW 24" X 24" MOTOR OPERATED STATIC PRESSURE CONTROLLED BYPASS DAMPER TO TRANSFER 6,250 CFM FROM SUPPLY DUCT TO RETURN DUCT. YOUNG REGULATOR MODEL No. 3092 OR ENGINEER APPROVED EQUAL.
- REMOVE FIRST FLOOR HOT WATER SUPPLY AND RETURN PIPING BACK TO THIS POINT AND CAP.

- PROVIDE 1-1/2" BALANCING VALVE BETWEEN 2-1/2" SUPPLY AND RETURN PIPING. BALANCE TO BYPASS 31 GPM FROM SUPPLY TO RETURN.
- ADJUST TERMINAL BOX BALANCING VALVE TO 3 GPM.
- ALL EXISTING DUCTWORK, TERMINAL BOXES, AND COILS SHALL BE CLEANED. SEE SPECIFICATION ITEM AIR DUCT / SYSTEM CLEANING.

EQUIPMENT DATA

HEAT PUMPS (4 REQUIRED)

MARK .....	HP-1 thru HP-4
TYPE .....	CEILING CASSETTE HEAT-PUMP
COOLING CAPACITY .....	24 MBH
HEATING CAPACITY .....	15.1 MBH @ 17F
CFM (Lo-Med-Hi) .....	625 / 761 / 878
ELECTRICAL .....	SEE ELECTRICAL DRAWINGS
ACCESSORIES .....	WALL MOUNTED THERMOSTAT (4 REQ'D.) GRILLE / CEILING PANEL 24V INTERFACE KIT
MFR. & MODEL # .....	CARRIER "40MBCQ24" (INDOOR UNIT) CARRIER "38MARBQ24AA3" (OUTDOOR UNIT) OR APPROVED EQUAL BY MITSUBISHI WITH LOW AMBIANT WIND BAFFLE

WALL HEATER

MARK .....	WH-1
TYPE .....	RECESSED
CAPACITY .....	2 KW / 6.8 MBH
CFM .....	100
ELECTRICAL .....	SEE ELECTRICAL DRAWINGS
ACCESSORIES .....	RECESSED MOUNTING FRAME, TRIM RING, INTEGRAL DISCONNECT SWITCH AND THERMOSTAT
MFR. & MODEL # .....	QMARK "AWH SERIES 4000", OR EQUAL BY BERKO

HVAC GENERAL NOTES

- WHERE REFERENCE IS MADE TO AN EXISTING PIPE, DUCT, OR PIECE OF EQUIPMENT, CONTRACTOR SHALL FIELD VERIFY EXACT SIZE, MODEL NUMBER, SERIAL NUMBER, AND LOCATION PRIOR TO FABRICATION AND/OR ORDERING MATERIALS.
- THE EXISTING MECHANICAL EQUIPMENT, DUCTWORK, AND PIPING SHOWN ON THESE DRAWINGS ARE SHOWN IN THEIR APPROXIMATE LOCATION AND MUST BE FIELD VERIFIED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL PIPES, DUCTS, TERMINAL AIR UNITS, ETC. WITH THE OTHER TRADES AND SHIFT LOCATION OR OFF-SET WHERE NECESSARY. WORK BY OTHER TRADES ISN'T RESTRICTED TO NEW WORK BUT ALSO INCLUDES EXISTING ITEMS SUCH AS ELECTRICAL CONDUITS, STORM PIPING, ETC.
- ALL PIPING SHALL BE INSTALLED IN A MANNER THAT WILL ACCOMMODATE THERMAL EXPANSION.
- UNLESS OTHERWISE INDICATED, ALL NEW SUPPLY DUCTWORK SHALL BE ACOUSTICALLY LINED SHEET METAL WITH 1-1/2" DUCT LINER (MIN. R=6). RETURN AIR DUCTWORK NEED NOT BE INSULATED. IN LIEU OF DUCT LINER ON ROUND SUPPLY DUCT, CONTRACTOR MAY USE 2.2" FOIL FACED BATT INSULATION (MIN. R=6).
- ALL EQUIPMENT, PIPING, DUCTWORK, CONTROLS, VALVES, ETC. NOTED TO BE REMOVED SHOULD ALSO BE DISPOSED OF UNDER THIS SECTION OF THE WORK UNLESS THE OWNER WISHES TO RETAIN POSSESSION OF SPECIFIC ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF ALL EXISTING GAS, AND WATER SYSTEMS WHEN NEW EQUIPMENT ARE INSTALLED ON EXISTING SYSTEMS. TESTING SHALL BE PER CODE AND LOCAL INSPECTION AGENCY REQUIREMENTS.
- TEMPERATURE CONTROLS CONTRACTOR (TCC) SHALL PROVIDE ALL LOW AND HIGH VOLTAGE WIRING TO CONTROL PANELS, RTUs, ZONE DAMPERS, SPLIT SYSTEMS, THERMOSTATS, ETC. SEE ELECTRICAL DRAWINGS FOR POWER WIRING. ALSO SEE ZONE DAMPER AND AIR HANDLING UNIT SCHEDULES FOR TCC SUBCONTRACTOR PRICING TO BE INCLUDED IN YOUR BID, CONTACT TIM SPENCER - CARRIER COMMERCIAL SERVICES - 937-604-3976.
- ALL ROOF WORK INCLUDING FLASHING AND PATCHING SHALL BE COMPLETED BY THE OWNER'S ROOFING CONTRACTOR TO MAINTAIN WARRANTY. FOR SUBCONTRACTOR PRICING, CONTACT COTTERMAN ROOFING AT 800-713-3190.
- BELOW DECK STRUCTURAL SUPPORTS AND FRAMING FOR ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE PROVIDED BY GENERAL CONTRACTOR (GC). ABOVE DECK HOLD DOWN CLIPS AND/OR WIND LOAD RESTRAINTS FOR MECHANICAL EQUIPMENT SHALL BE DESIGNED BY STRUCTURAL ENGINEER AND INSTALLED BY GC. REF: OMC SECTION 301.15.

HVAC LEGEND

- LOW PRESSURE DUCTWORK
- FLEXIBLE DUCT RUNOUT/CONNECTOR
- ZONE DAMPER
- SUPPLY AIR DEVICE
- RETURN OR EXHAUST AIR DEVICE
- VANED ELL (MITER)
- HOT WATER SUPPLY LINE
- HOT WATER RETURN LINE
- DDC TEMPERATURE SENSOR WITH EXTERNAL ADJUSTMENT & INTEGRAL TEMPERATURE READOUT
- PNEUMATIC ROOM THERMOSTAT
- DISCHARGE AIR
- EXHAUST OR INTAKE AIR
- ROOM NUMBER
- NOTE SYMBOL
- AIR DEVICE SYMBOL
- BALANCE VALVE
- RETURN AIR OPENING IN WALL ABOVE CEILING...  
NUMBER INDICATES AREA (GROSS) IN SQUARE FEET.

HVAC - SHEET INDEX

H0-1	HVAC - LEGEND, GENERAL NOTES, DRAWING NOTES, EQUIPMENT DATA,
H1-1	HVAC - PARTIAL FIRST FLOOR PLANS - DEMOLITION & REVISED
H1-2	HVAC - PARTIAL ROOF PLAN - DEMOLITION & REVISED
H1-3	HVAC - PARTIAL GROUND FLOOR PLAN & HVAC SCHEDULES
H2-1	HVAC - DUCTWORK CLEANING - PARTIAL FLOOR PLANS

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Phase I Modernization for:  
City of Moraine Municipal Building

4200 Dryden Road  
Moraine, OH 45439

Print Record

07/29/22 FINAL CHECK SET  
03/06/23 FINAL REVIEW

Project Numbers

2020-149/GG14

Date

JANUARY 28, 2022

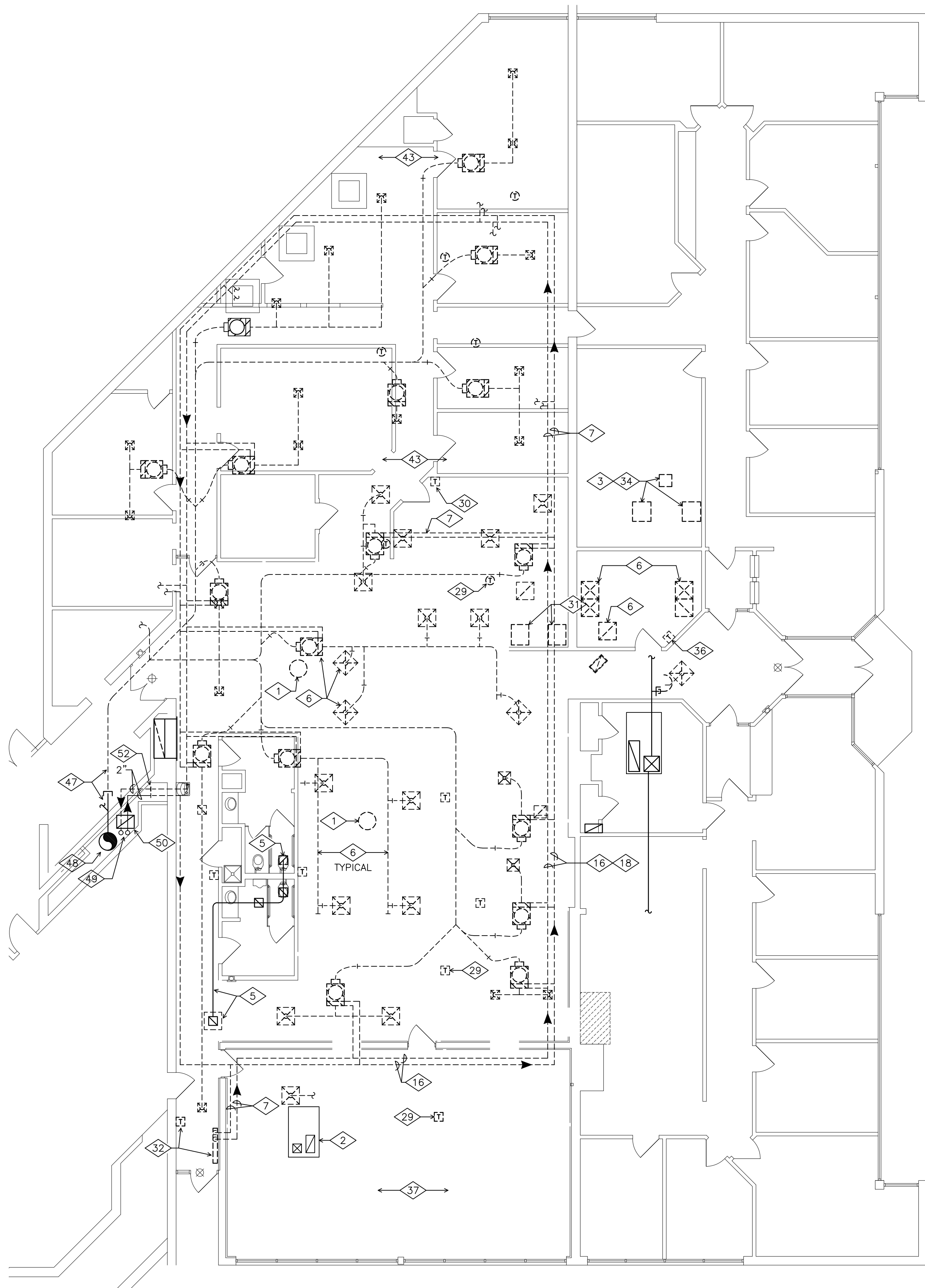
Sheet Title

HVAC LEGEND,  
GENERAL NOTES,  
DRAWING NOTES,  
EQUIPMENT DATA

Sheet Number

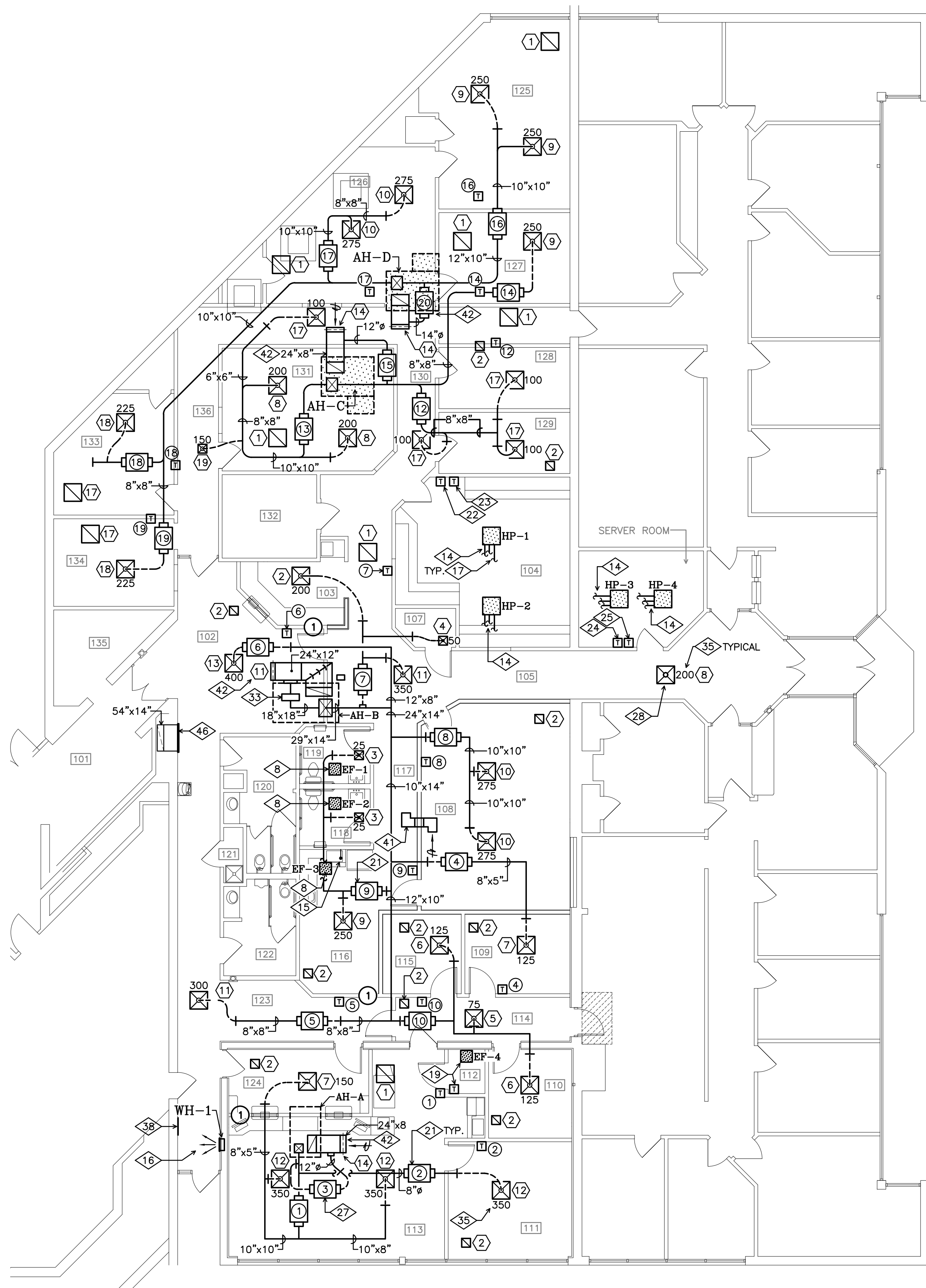
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#### ROOM INDEX

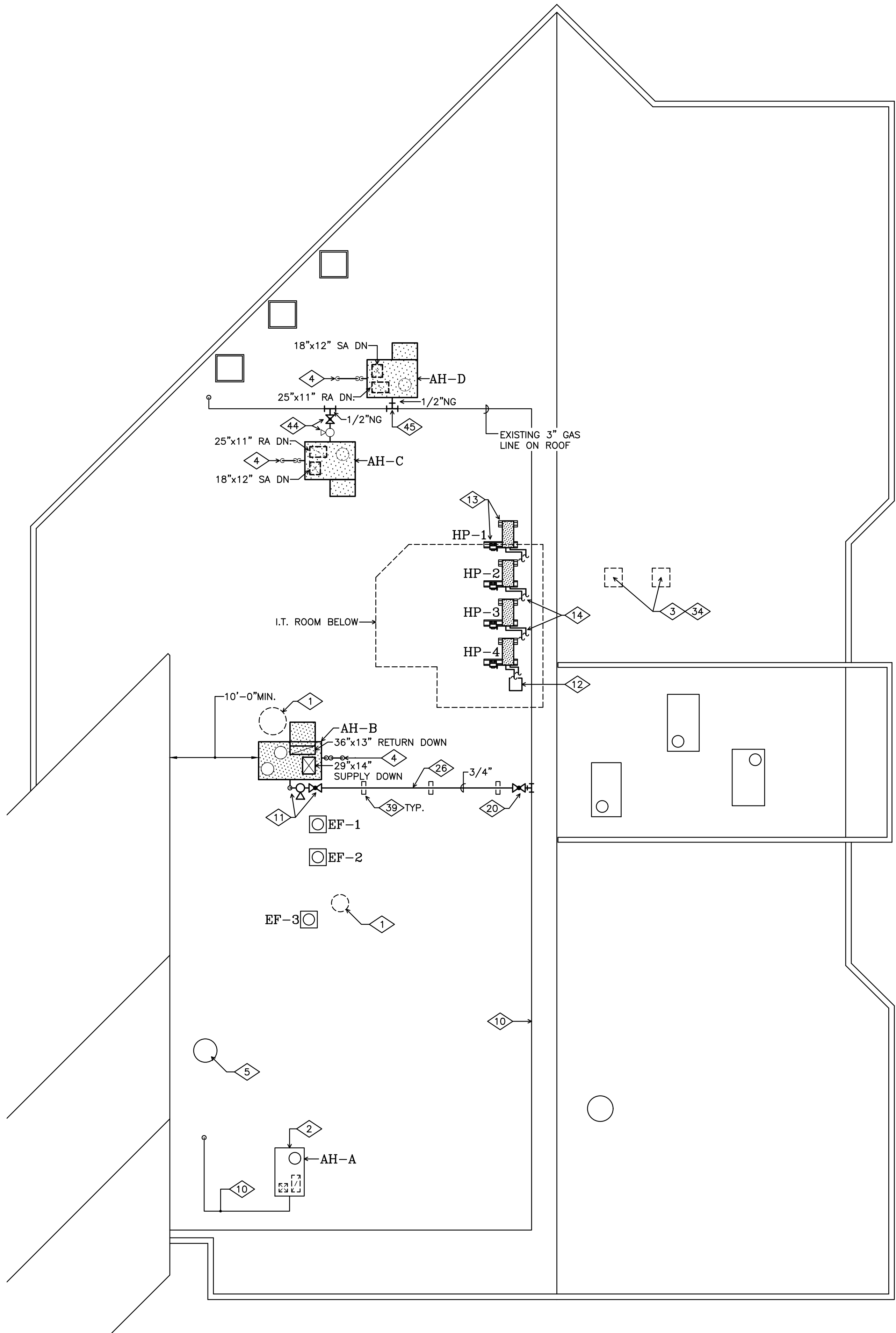
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- 102 WAITING
- 103 RECEPTION
- 104 I.T.
- 105 CORRIDOR
- 106 NOT USED
- 107 STOR.
- 108 CONFERENCE
- 109 MAYOR OFFICE
- 110 PROSECUTOR
- 111 CLERK STOR.
- 112 I.T.
- 113 CLERK OPEN OFFICE
- 114 CORRIDOR
- 115 CONSULT
- 116 BREAK
- 117 CORRIDOR
- 118 MEN'S
- 119 WOMEN'S
- 120 WOMEN
- 121 JANITOR
- 122 MEN
- 123 CORRIDOR
- 124 PAYMENTS
- 125 CITY MANAGER
- 126 CITY MANAGER RECEPTIONIST
- 127 H.R.
- 128 STORAGE
- 129 CLERK OF COUNCIL STORAGE
- 130 CORRIDOR
- 131 CLERK OF COUNCIL
- 132 VAULT
- 133 COUNCIL CONFERENCE ROOM
- 134 A.V.
- 135 VENDING
- 136 CORRIDOR



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4200 Dryden Road  
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Print Record
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Sheet Title
HVAC PARTIAL FIRST FLOOR PLANS DEMOLITION & REVISED
Sheet Number





HVAC  
ROOF PLAN  
SCALE: 1/8" = 1'-0"

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Sheet Title
HVAC PARTIAL ROOF PLAN DEMOLITION & REVISED
Sheet Number
H1-2

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AIR HANDLING UNIT SCHEDULE

DESIGN CONDITIONS:				ACCESSORIES:									
1. COOLING OUTDOOR TEMP. .... 95°F				1. 14" ROOF CURB				6. 2 STAGE COOLING				11. CONCENTRIC VENT KIT	
2. HEATING OUTDOOR TEMP. .... -10°F				2. RTU-OPEN CONTROLLER				7. 2" DISPOSABLE MERV 8 FILTERS				12. SCROLL COMPRESSORS (2)	
3. COOLING ENT. AIR TEMP. .... 80°F				3. POWERED CONVENIENCE OUTLET				8. FOIL FACED INSULATED CABINET				13. CONDENSER HAIL GUARDS	
4. HTG. ENT. AIR TEMP. .... 67°F				4. ECONOMIZER PACKAGE, BAR. RELIEF				9. ELECTRONIC ZONE DAMPERS (SEE SCHED.)				14. THRU BASE CONNECTIONS	
5...				5. 2 STAGE HEATING				10. FURNACE TWINNING KIT				15. NON-FUSED DISCONNECT	
MARK	NOM. TONS	CFM	ESP IN WC	CLG. CAPACITY (MBH) TOTAL	CLG. CAPACITY (MBH) SENSIBLE	HTG. CAPACITY (MBH) INPUT	HTG. CAPACITY (MBH) OUTPUT	MOTOR HP	MIN. O.A. (CFM)	SERVING AREA	AIR HANDLER MODEL No.	ACCESSORIES (SEE ABOVE)	NOTES (SEE BELOW)
AH-B	7.5	3,000	1.00"	93.30	72.20	125 / 103	50 / 41	3	465	SEE PLAN	48FCDM08A2M53F2F0	1,2,3,4,5,6,7,8,9,12,14,15	
AH-C	3.0	1,200	1.00"	35.10	25.40	67	54	3/4	125	SEE PLAN	48FCEB04A1M5-2F2F	1,2,3,4,7,8,9,14,15	
AH-D	3.0	1,500	1.00"	36.30	28.00	110 / 93	82 / 65	1	125	SEE PLAN	48FCEB04A1M5-2F2F	1,2,3,4,5,7,8,9,14,15	

AIR DEVICE SCHEDULE

TYPE				FINISH				MISCELLANEOUS			
1...CEILING DIFFUSER				9...BACKDRAFT DAMPER				20...ALUMINUM POWDER COAT			
2...LOUVERED SUPPLY GRILLE				10...LINEAR BAR GRILLE-SUPPLY				21...WHITE ENAMEL			
3...SQUARE PLAQUE DIFFUSER				11...LINEAR BAR GRILLE-RETURN				22...STANDARD			
4...ADJUSTABLE SLOT - "FLOWBAR"				12...DOUBLE DEFL. SUPPLY REG.				23...ETCHED & LACQUERED			
5...ALUM. BAR GRILLE - TRANSFER				13...ALUMINUM EGG CRATE				24...SEE ARCH. FOR FINISH			
6...EXTERIOR WALL LOUVER				14...INTAKE LOUVER				25...ENAMEL-STD COLOR			
7...LINEAR SLOT DIFFUSER				15...ADJUSTABLE SLOT DIFFUSER				26...304 STAINLESS STEEL			
8...INSUL. PLENUM SLOT DIFFUSER				16...ALUMINUM CONTROL DAMPER				27...PRIME COAT FOR PAINTING BY OTHERS			
30...VOLUME DAMPER								31...4-WAY PATTERN ADJ.			
31...4-WAY PATTERN ADJ.								32...BIRD SCREEN (ALUMINUM)			
32...BIRD SCREEN (ALUMINUM)								33...EXTER. INSUL. PLENUM			
33...EXTER. INSUL. PLENUM								34...ALIGNMENT STRIPS			
34...ALIGNMENT STRIPS								35...BLACK INTERNALS			
35...BLACK INTERNALS								36...INSUL. PLENUM BY S/M			
36...INSUL. PLENUM BY S/M								37...SET COUNTERWEIGHT @ 0.05" WG			
37...SET COUNTERWEIGHT @ 0.05" WG											
38...MOTOR OPER. (BY TCC)											
39...FILTER & FRAME											
40...12" PATTERN CONTROLLERS											
41...2-POS. CONTROL DAMPER											
MARK	DEVICE SIZE	NECK SIZE	DUTY	CFM	TYPE	MFR.	MODEL No.	FINISH	MISC.	CLG/MTGHT.	NOTES
1	24" X 24"	22" X 22"	RETURN	VARIES	13	PRICE	80D	21	30	CEILING	
2	12" X 12"	10" X 10"	RETURN	VARIES	13	PRICE	80D	21	30	CEILING	
3	12" X 12"	4" Ø	SUPPLY	25	3	PRICE	SPD	21	30	CEILING	
4	12" X 12"	4" Ø	SUPPLY	50	3	PRICE	SPD	21	30	CEILING	
5	24" x 24"	6" Ø	SUPPLY	75	3	PRICE	SPD	21	30	CEILING	
6	24" x 24"	6" Ø	SUPPLY	125	3	PRICE	SPD	21	30	CEILING	
7	24" x 24"	6" Ø	SUPPLY	150	3	PRICE	SPD	21	30	CEILING	
8	24" x 24"	6" Ø	SUPPLY	200	3	PRICE	SPD	21	30	CEILING	
9	24" x 24"	8" Ø	SUPPLY	250	3	PRICE	SPD	21	30	CEILING	
10	24" x 24"	8" Ø	SUPPLY	275	3	PRICE	SPD	21	30	CEILING	
11	24" x 24"	8" Ø	SUPPLY	300	3	PRICE	SPD	21	30	CEILING	
12	24" x 24"	8" Ø	SUPPLY	350	3	PRICE	SPD	21	30	CEILING	
13	24" x 24"	10" Ø	SUPPLY	400	3	PRICE	SPD	21	30	CEILING	
14	24" X 8"	24" X 8"	BACKDRAFT	VARIES	9	GREENHECK	BR-30	22	37	PLENUM	
15	24" x 12"	24" x 12"	BACKDRAFT	VARIES	9	GREENHECK	BR-30	22	37	PLENUM	
16	18" x 18"	18" x 18"	BYPASS	2,250	16	GREENHECK	VCD	22	38	PLENUM	
17	24" x 24"	6" Ø	SUPPLY	100	3	PRICE	SPD	21	30	CEILING	
18	24" x 24"	8" Ø	SUPPLY	225	3	PRICE	SPD	21	30	CEILING	
19	12" X 12"	5" Ø	SUPPLY	150	3	PRICE	SPD	21	30	CEILING	

FAN SCHEDULE

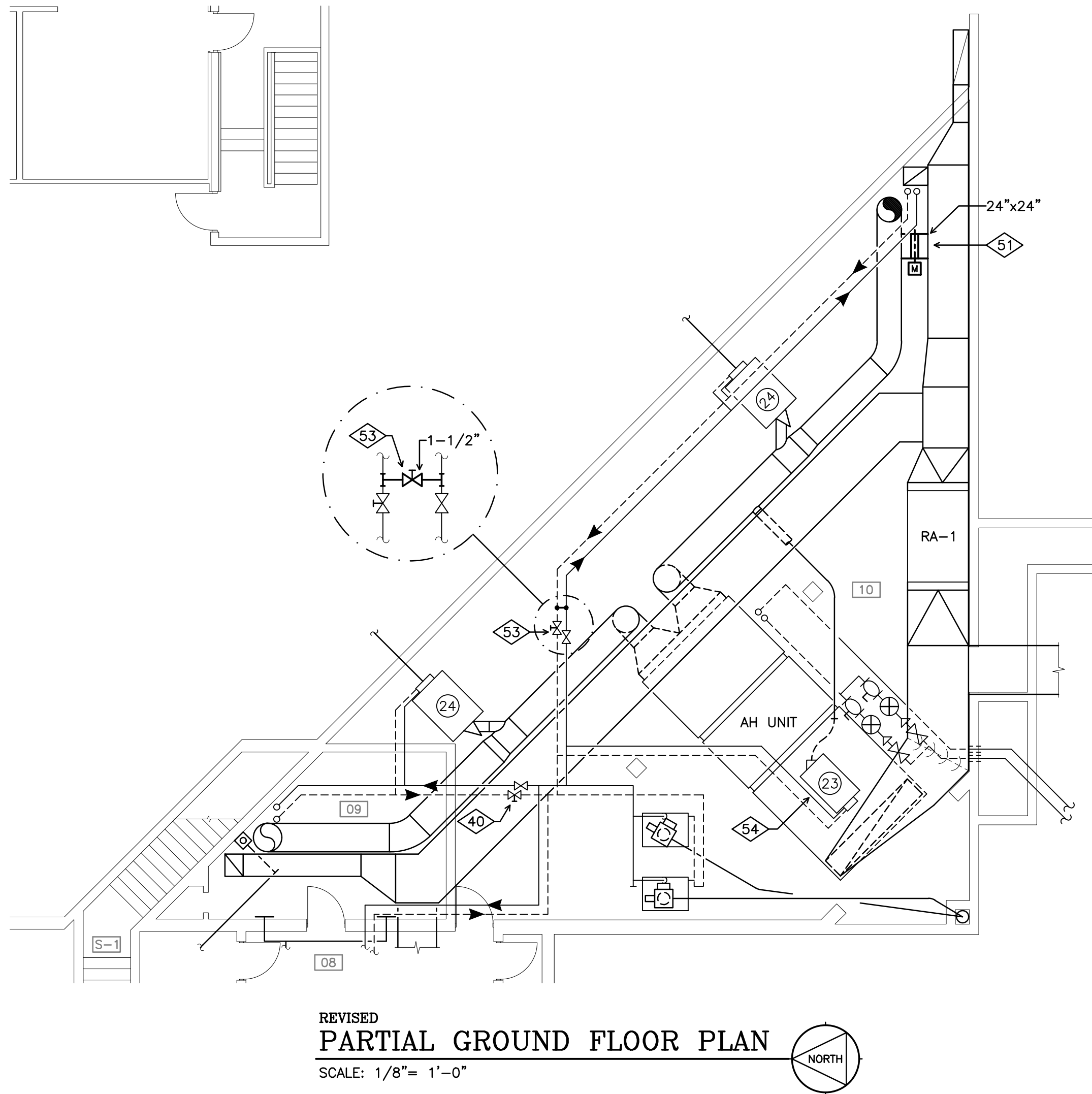
FAN TYPE				ELECTRICAL DATA				MISCELLANEOUS							
1...CENTRIFUGAL				11..PLENUM				20...REFER TO ELECTRICAL DRAWINGS				30...ROOF CAP W/BIRDSCREEN & CURB			
2...AIRFOIL				12...UTILITY SET				21...INTEGRAL SAFETY SWITCH				31...BIRD SCREEN (ALUMINUM)			
3...BACKWARD INCLINED				13...PROPELLER-PANEL MOUNT UNIT				22...2-SPEED MOTOR & SWITCH				32...SPRING ISOLATOR HANGER KIT			
4...FORWARD CURVED				14...UP-BLAST ROOF				23...VARI-GREEN SPEED CONTROLLER				33...REVERSE ACTING THERMOSTAT			
5...IN-LINE				15...HOODED ROOF UNIT				24...MANUAL STARTER W/PILOT LIGHT				34...HIGH EFFICIENCY MOTOR			
6...PROPELLER				16...SIDEWALL				25...MOTION SENSOR W/15 MIN. TIME DELAY				35...			
7...CEILING EXHAUST				17...DUCT				26...VARIABLE FREQUENCY DRIVE							
35...															
MARK	CFM	SERVES	SP IN WG	FAN RPM	WATTS	FAN TYPE	MFR.	MODEL No.	DUTY	BUILDING OPENING	DRIVE	WHEEL DIA.	ELEC. DATA	MISC.	NOTES
EF-1	75	ROOM 119	0.375	850	13.4	7	GREENHECK	SP-A90-VG	EXHAUST	8" Ø	DIRECT	---	20,21,23	30,32	1
EF-2	75	ROOM 118	0.375	850	13.4	7	GREENHECK	SP-A90-VG	EXHAUST	8" Ø	DIRECT	---	20,21,23	30,32	1
EF-3	125	ROOM 166	0.375	940	22.4	7	GREENHECK	SP-A130-VG	EXHAUST	8" Ø	DIRECT	---	20,21,23,24	30,32	1
EF-4	100	ROOM 112	0.375	1020	17	7	GREENHECK	SP-A110-VG	EXHAUST	---	DIRECT	---	20,21,23	32,33	1

NOTE: 1) MAXIMUM INLET SOUND LEVEL SHALL BE 2.5 SONES (AMCA 311 AT 5.0 FT)

ZONE DAMPER SCHEDULE

MARK	CFM	INLET COLLAR SIZE	MAX. PRESSURE DROP	CARRIER MODEL NUMBER	AH #	THERMOSTAT LOCATION ROOM No.	NOTES
1	850	14" Ø	0.08" WG	OPNDR14	AH-A	113	1
2	350	8" Ø	0.08" WG	OPNDR8	AH-A	111	1
3	900	12" Ø	0.12" WG	OPNDR12	AH-A BYPASS	---	2
4	150	6" Ø	0.08" WG	OPNDR06	AH-B	109	1
5	300	8" Ø	0.08" WG	OPNDR08	AH-B	123	1
6	400	8" Ø	0.08" WG	OPNDR08	AH-B	102	1
7	600	10" Ø	0.08" WG	OPNDR10	AH-B	103	1
8	550	10" Ø	0.08" WG	OPNDR10	AH-B	108	1
9	300	8" Ø	0.08" WG	OPNDR08	AH-B	116	1
10	325	8" Ø	0.08" WG	OPNDR08	AH-B	114	1
11	2,250	18" X 18"	0.12" WG	---	AH-B BYPASS	---	2,3
12	300	8" Ø	0.08" WG	OPNDR08	AH-C	128	1
13	650	12" Ø	0.08" WG	OPNDR12	AH-C	131	1
14	250	8" Ø	0.08" WG	OPNDR08	AH-C	127	1
15	900	12" Ø	0.12" WG	OPNDR12	AH-C BYPASS	---	2,3
16	600	10" Ø	0.08" WG	OPNDR10	AH-D	125	1
17	550	10" Ø	0.08" WG	OPNDR10	AH-D	126	1
18	300	8" Ø	0.08" WG	OPNDR08	AH-D	133	1
19	325	8" Ø	0.08" WG	OPNDR08	AH-D	134	1
20	1,200	14" Ø	0.12" WG	OPNDR14	AH-D BYPASS	---	2,3

NOTES: 1.) PROVIDE CARRIER "VVT ZONE II CONTROLLER - # OPN-VVTC-02" & "ZS PRO - #ZS2P-CAR SENSOR".  
2.) PROVIDE CARRIER "VVT BYPASS II CONTROLLER - # OPN-VVTBP-02".  
3.) SEE AIR DEVICE SCHEDULE, AIR DEVICE 16.



OUTSIDE AIR - VENTILATION SUMMARY

SYSTEM	ROOM #	ROOM NAME	FLOOR AREA IN SF. (A <sub>2</sub> )	OCCUPANT DENSITY (P <sub>2</sub> )	OA CFM PER PERSON (Rp)	OA RATE CFM/SF (Ra)	OA REQUIRED CFM (Vb2)	AIR CLASS	EXHAUST AIR REQUIRED CFM	VENTILATION RATE DESIGN CFM	NOTES
AH-B	102	WAITING	288	4	5	0.06	37	1	---	40	
AH-B	103	RECEPTION	180	2	5	0.06	21	1	---	25	
AH-B	104	IT	400	3	5	0.06	39	1	---	50	
AH-B	105	CORRIDOR	252	0	0	0.06	1	1	---	0	
AH-B	107	STORAGE	28	0	0	0.06	1	1	---	0	
AH-B	108	CONFERENCE	408	12	5	0.06	85	1	---	100	
AH-B	109	MAYOR OFFICE	108	1	5	0.06	16	1	---	20	
AH-B	110	PROSECUTOR	90	2	5	0.06	15	1	---	20	
AH-A	111	CLERK STORAGE	196	1	5	0.06	17	1	---	25	
AH-B	112	IT CLOSET	20	0	0	0.06	1	1	---	0	
AH-B	113	CLERK OPEN OFFICE	408	4	5	0.06	45	1	---	50	
AH-B	114	CORRIDOR	100	0	0	0.06	1	1	---	0	
AH-B	115	CONSULT	81	2	5	0.06	15	1	---	20	
AH-B	116	BREAKROOM	136	4	5	0.12	36	1	---	40	
AH-B	117	CORRIDOR	100	0	0	0.06	1	1	---	0	
AH-B	118	MEN'S TOILET	48	1	---	0.06	75	2	75	75	
AH-B	119	WOMEN'S TOILET	48	1	---	0.06	75	2	75	75	
AH-B	123	CORRIDOR	168	0	0	0.06	1	1	---	0	
AH-B	124	PAYMENTS	112	3	5	0.06	25	1	---	50	
AH-B	---	SERVER ROOM	168	0	0	0.06	1	1	---	0	
TOTALS FOR AH-A & AH-B			3339				508			590	
AH-C	127	OFFICE	140	1	5	0.06	13	1	---	25	
AH-C	128	STORAGE	112	0	0	0.06	7	1	---	15	
AH-C	129	STORAGE	112	0	0	0.06	7	1	---	15	
AH-C	130	CORRIDOR	190	0	0	0.06	11	1	---	15	
AH-C	131	OFFICE	280	2	5	0.06	27	1	---	40	
AH-C	136	CORRIDOR	174	0	0	0.06	10	1	---	15	
TOTALS FOR AH-C			1008				75			125	
AH-D	125	OFFICE	280	2	5	0.06	27	1	---	40	
AH-D	126	OFFICE	220	2	5	0.06	23	1	---	35	
AH-D	133	OFFICE	168	1	5	0.06	15	1	---	25	
AH-D	134	AV	140	1	5	0.06	13	1	---	25	
TOTALS FOR AH-D			808				78			125	

NOTES: A) OUTDOOR AIR ANALYSIS BASED ON ASHRAE STANDARD 62.1 - 2016

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Phase I Modernization for:  
**City of Moraine Municipal Building**  
4200 Dryden Road  
Moraine, OH 45439

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Sheet Title  
HVAC  
PARTIAL GROUND  
FLOOR PLAN  
& HVAC SCHEDULES  
Sheet Number  
H1-3

**Helmig Lienesch LLC**  
Consulting Engineers

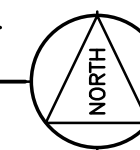
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## Phase I Modernization for:

H2-1

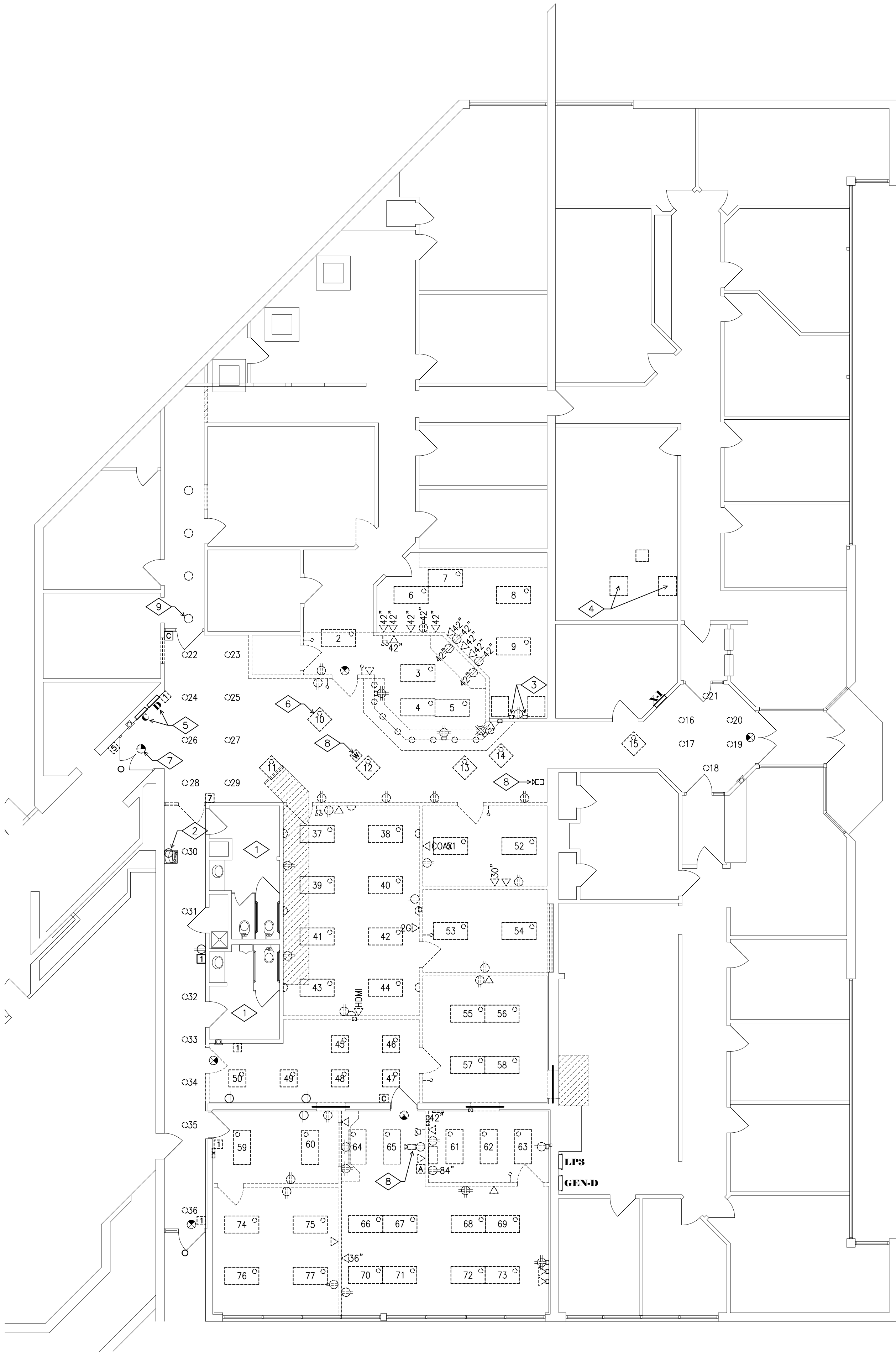
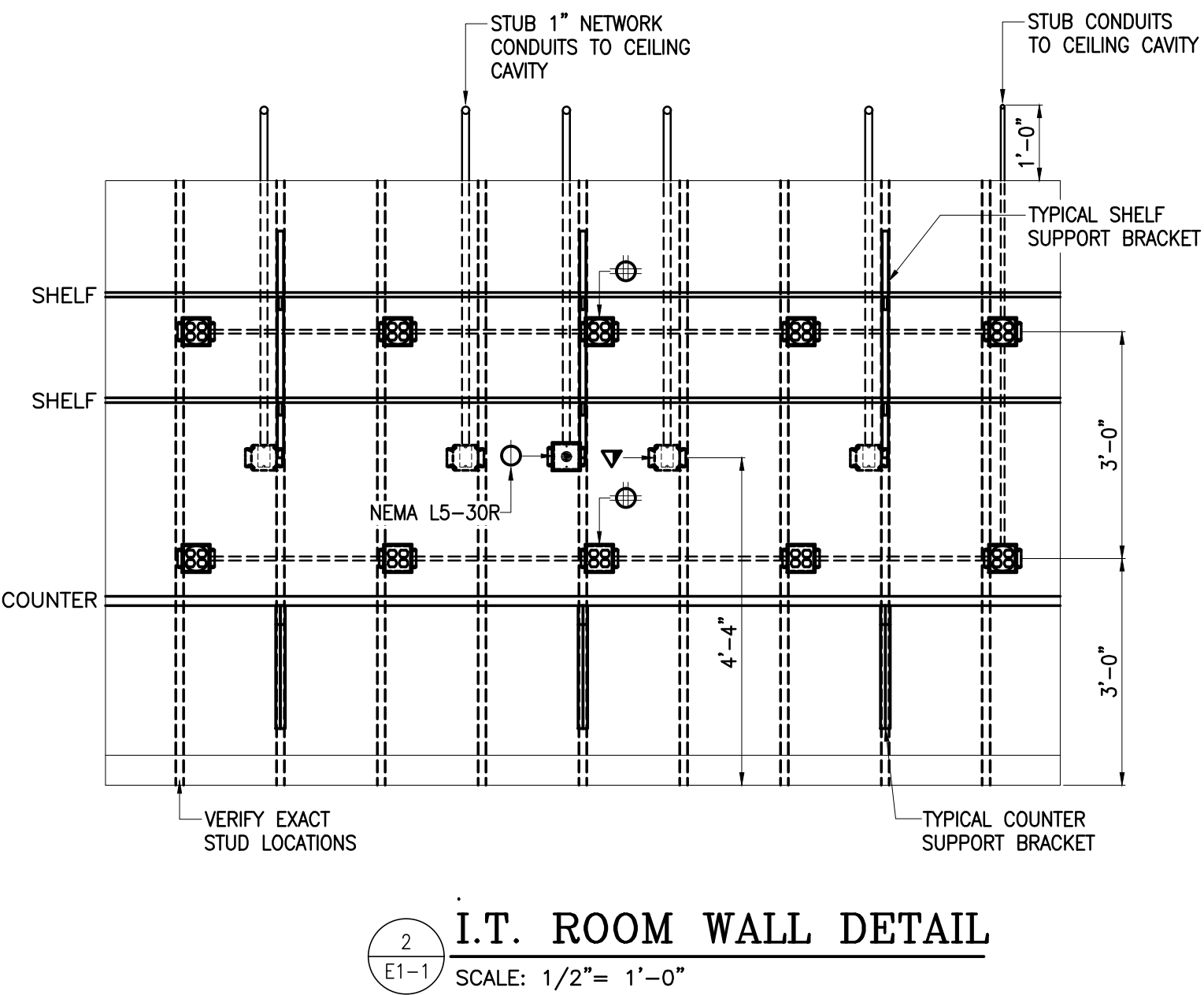
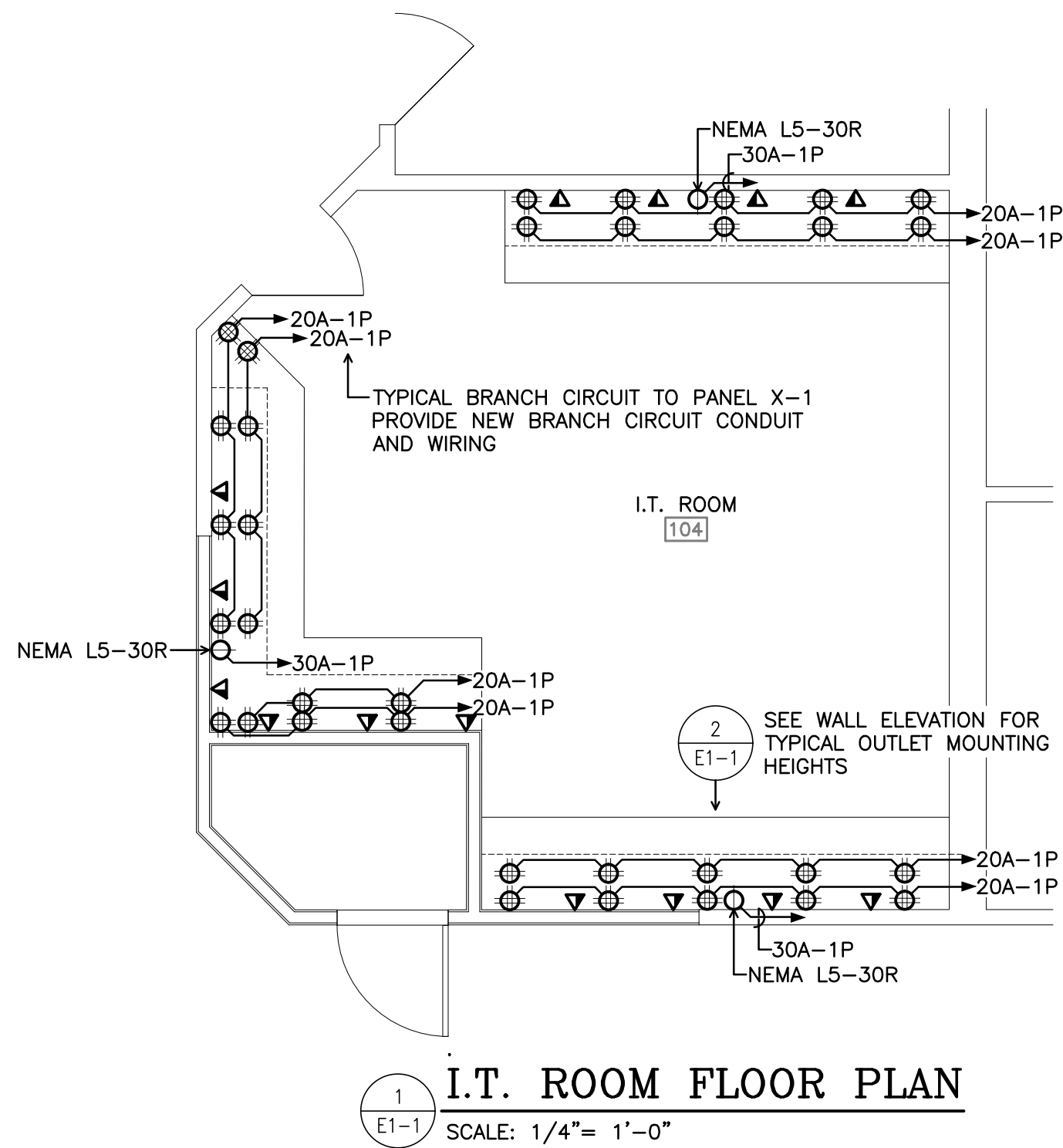


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1 DEMOLITION PLAN NOTES

- EXISTING LIGHTING IN THIS ROOM TO REMAIN, MAINTAIN CONTINUITY IN EXISTING BRANCH CIRCUIT OR POWER FROM NEW CIRCUIT.
- EXISTING RECEPTACLE TO REMAIN, MAINTAIN CONTINUITY IN EXISTING BRANCH CIRCUIT OR POWER FROM NEW CIRCUIT.
- DISCONNECT AND REMOVE 15A-2P CIRCUIT BREAKERS SERVING EXISTING AIR HANDLING UNITS (CIRCUIT D-29,30). REMOVE CONDUIT AND WIRING BACK TO PANEL CIRCUIT BREAKER).
- DISCONNECT BRANCH CIRCUIT TO EXISTING CONDENSING UNITS ON ROOF (CIRCUIT D-8,9). REWORK BRANCH CIRCUIT WIRING TO SERVE NEW ROOFTOP UNIT.
- REUSE EXISTING BRANCH CIRCUIT BREAKERS TO SERVE NEW LOADS. PROVIDE NEW TYPED PANEL INDEX CARDS TO IDENTIFY CIRCUIT LOADS AND SPARE CIRCUIT BREAKERS. REMOVE ALL ABANDONED (UNUSED) WIRING IN PANEL ENCLOSURE. REPLACE ANY DEFECTIVE BREAKERS.
- DISCONNECT EXISTING LIGHTING FIXTURES THEN CAREFULLY REMOVE AND STORE FOR REUSE.
- TYPICAL - REPLACE EXISTING EXIT SIGNS WITH NEW FIXTURES.
- TURN ALL WIFI ROUTERS AND SECURITY CAMERAS OVER TO OWNER'S SECURITY CONTRACTOR.
- DISCONNECT AND REMOVE THESE CORRIDORS FIXTURES, THEN, RECONNECT NEW FIXTURES.



ELECTRICAL LEGEND

- CONDUIT CONCEALED ABOVE CEILING OR IN WALL WHENEVER POSSIBLE
- CONDUIT CONCEALED IN OR BELOW FLOOR
- INDICATES NUMBER OF CONDUCTORS IN CONDUIT TO BE USED AS A GENERAL GUIDE TO SHOW INTENT OF CIRCUITING AND SWITCHING ARRANGEMENT...NOT SHOWN IN ALL CASES...CONTRACTOR SHALL VERIFY AND INSTALL ADDITIONAL CONDUCTORS WHERE REQUIRED.
- HOME-RUN TO PANELBOARD SHOWING CIRCUIT DESIGNATION, INDICATING PANEL AND CIRCUIT BREAKER NUMBER WITHIN THE PANEL...BREAKER LOCATIONS MAY BE REARRANGED TO PERMIT THE USE OF A COMMON NEUTRAL CONDUCTOR.
- EACH ARROW INDICATES ONE COMPLETE CIRCUIT
- ELECTRIC MOTOR CONNECTION
- ELECTRICAL CONNECTION REQUIRED
- CONDUIT RISE
- CONDUIT DROP
- MOUNTING HEIGHT DESIGNATION IN INCHES ABOVE FINISHED FLOOR TO CENTERLINE...WHEN INDICATED ON DRAWINGS SUPERSEDES STANDARD MOUNTING HEIGHT IN LEGEND
- REFERENCE TO DETAIL
- NOTE SYMBOL
- HEAVY-DUTY, NEMA-1, NON-FUSIBLE DISCONNECT SWITCH
- HEAVY-DUTY, NEMA-3R, FUSIBLE DISCONNECT SWITCH, WITH FUSE SIZE NOTED
- DISCONNECT SWITCH PROVIDED INTEGRAL WITH EQUIPMENT
- MANUAL STARTER WITH PILOT LIGHT
- JUNCTION BOX
- EXISTING ELECTRIC PANELBOARD
- FIXTURE CONNECTED TO EMERGENCY (GENERATOR POWERED) BRANCH CIRCUIT
- SINGLE-FACED EXIT SIGN
- EXISTING TO BE REMOVED (DEMOLITION)
- EXISTING TO REMAIN
- EXISTING RELOCATED
- 20A/125V/1PH/3W, 5-20R, RECEPTACLE
- 20A/125V/1PH/3W, NEMA 5-20R, DUPLEX GFCI RECEPTACLE
- DOUBLE DUPLEX "QUAD" CONVENIENCE RECEPTACLES
- DOUBLE DUPLEX GFCI "QUAD" CONVENIENCE RECEPTACLES
- 20A/125V/1PH/3W, NEMA 5-20R, DUPLEX GFCI RECEPTACLE FOR WATER COOLER. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT MOUNTING LOCATION WITH WATER COOLER MANUFACTURERS DRAWINGS.
- 20A/125V/1PH/3W, NEMA 5-20R, DUPLEX GFCI RECEPTACLE W/WEATHERPROOF "IN-USE" COVERPLATE
- NEMA L5-30R 120V-30A LOCKING RECEPTACLE AT
- NETWORK FLUSH WALL OUTLET, CONSISTING OF TWO-GANG BOX WITH ONE-GANG PLASTER RING, A.F.F. STUB 1" CONDUIT WITH PULL WIRE TO ABOVE SUSPENDED CEILING. COVER PLATE AND WIRING BY OWNER.
- CARD READER TO TOP
- ALL ACCESS CONTROL WORK TO PROVIDED BY OWNER'S ACCESS CONTROL CONTRACTOR
- FLAT TV POWER AND CABLE OUTLET - VERIFY HEIGHT WITH TV BEING INSTALLED
- LEVITON HT2102WHV1 IN WALL TV KIT (OR EQUAL)
- LEVITON FLUSH FLOOR BOX INCLUDING:  
FB22F-N NICKEL PLATED COVER PLATE  
FB22F-GY FLOOR BOX  
FB22F-LV LOW VOLTAGE DIVIDER  
FB22F-LV LEVELING RING  
T5833-W 20-AMP TYPE-C USB CHARGER/TAMPER RESISTANT RECEPTACLE, WHITE  
FB22F-I 2-Port DECORA RECESSED DATA STRAP  
41643-W LEVITON QUICKPORT DECORA INSERT, 3-PORT WITH:  
TWO 61110-OL6 EXTREME 6+ QUICKPORT CONNECTOR, CAT 6, BLUE  
AND ONE 41084-BW BLANK QUICKPORT INSERT, 10-PACK, WHITE

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	GRC	GALVANIZED RIGID CONDUIT
BKR	BREAKER	GFI	GROUND FAULT CIRCUIT PROTECTOR
C	CONDUIT	HP	HORSEPOWER
CIR	CIRCUIT	JB	JUNCTION BOX
e	EXISTING	KVA	KILOVOLT AMPERES
EC	ELECTRICAL CONTRACTOR	KW	KILOWATT
EM	EMERGENCY	MLO	MAIN LUGS ONLY
EMT	ELECTRICAL METALLIC CONDUIT	NEC	NATIONAL ELECTRIC CODE
er	EXISTING RELOCATED	NF	NON-FUSED
F	FLUSH	TC	TEMPERATURE CONTROL
FU	FUSE	TYP	TYPICAL
G	GROUND	WC	WATER COOLER
		WP	WEATHERPROOF

ELECTRICAL - SHEET INDEX

- E1-1 ELECTRICAL - PARTIAL FIRST FLOOR DEMOLITION PLAN
- E2-1 ELECTRICAL - PARTIAL FIRST FLOOR LIGHTING PLAN
- E2-2 ELECTRICAL - PARTIAL FIRST FLOOR SYSTEMS PLAN
- E3-1 ELECTRICAL - PANELBOARD SCHEDULES

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Phase I Modernization for:  
**City of Moraine Municipal Building**

4200 Dryden Road  
Moraine, OH 45439

Print Record
3/20/23 Bld/Construction Set
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ELECTRICAL PARTIAL FIRST FLOOR DEMOLITION PLAN
Sheet Number
E1-1



## 1 LIGHTING PLAN NOTES

- EXISTING LIGHTING IN THIS ROOM TO REMAIN, MAINTAIN CONTINUITY IN EXISTING BRANCH CIRCUIT OR POWER FROM NEW CIRCUIT.
- CONNECT TO EXISTING EGRESS LIGHTING BRANCH CIRCUIT.
- CONNECT TO EXISTING BRANCH CIRCUIT.

## LIGHTING CONTROL DEVICE LEGEND

- GENERAL PURPOSE 1-POLE SWITCH @48"A.F.F. TO TOP OF TOGGLE HUBBELL #HBL1221W
- OCCUPANCY SENSOR WALL SWITCH AT 48"A.F.F. SENSOR SWITCH #WSX PDT WH
- GENERAL PURPOSE 3-WAY SWITCH @48"A.F.F. TO TOP OF TOGGLE HUBBELL #HBL1223W
- GENERAL PURPOSE 4-POLE SWITCH @48"A.F.F. TO TOP OF TOGGLE HUBBELL #HBL1224W
- 0-10V, LED, 8-AMP, 3-WAY DIMMER LUTRON #DVSTV-453PH-WH DIVA
- OCCUPANCY WALL SWITCH SENSOR WITH FAN AT 48"A.F.F. SENSOR SWITCH #WSX PDT 2P FAN ASHRT WH SET LIGHTS OFF IN 5 MINUTES, FAN OFF IN 15 MINUTES


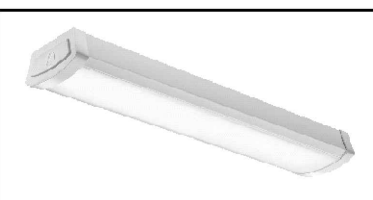

## LIGHTING FIXTURE LEGEND

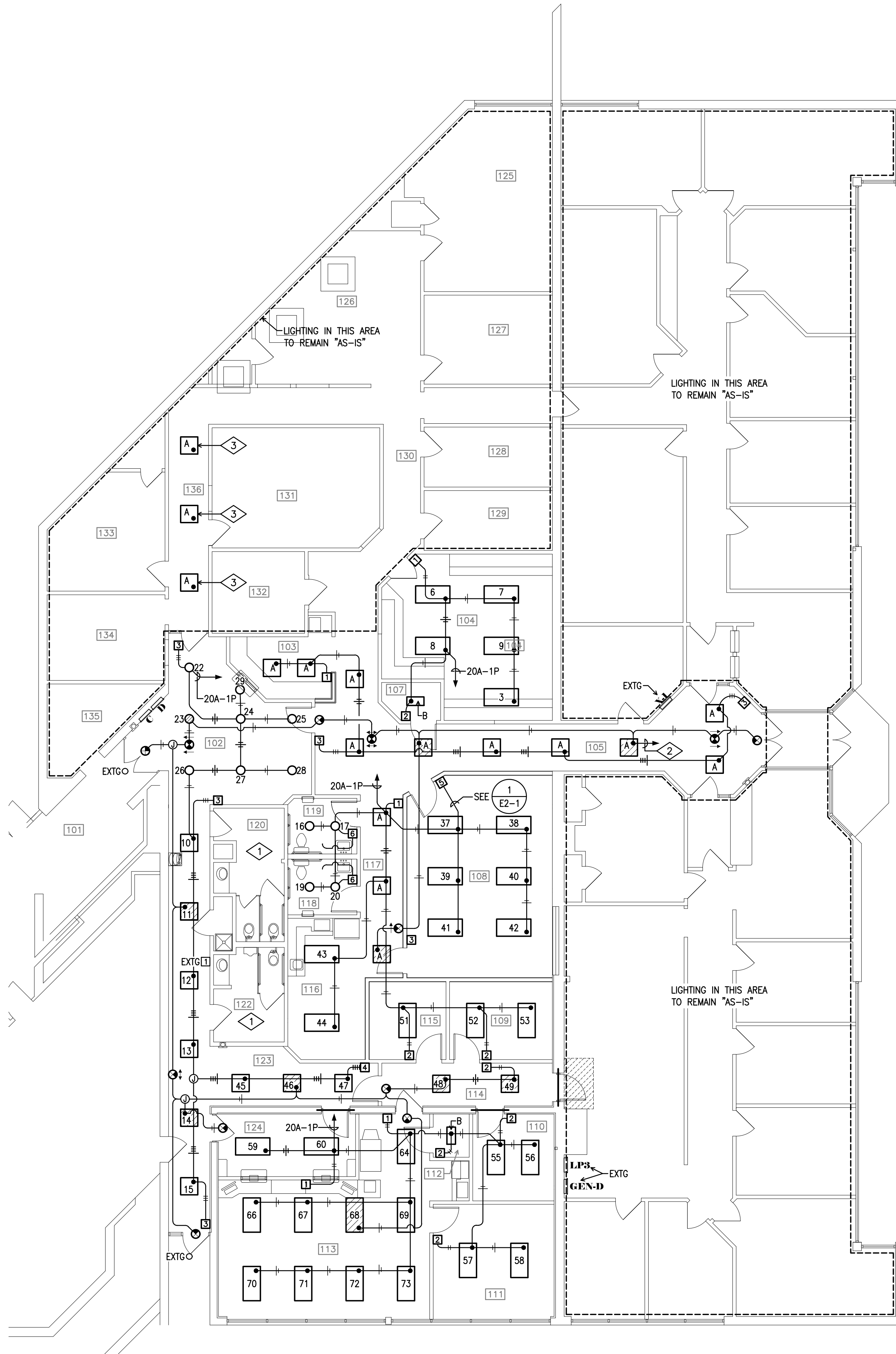
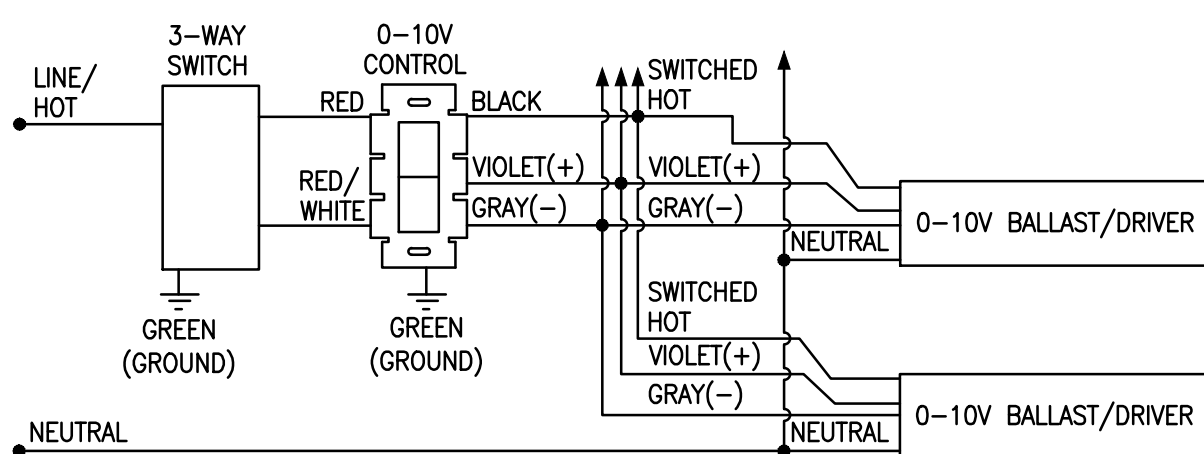
- RECESSED 6" FLAT PANEL LED DOWNLIGHT
  - RECESSED 2x2 FLAT PANEL LED LAY-IN
  - RECESSED 2x4 FLAT PANEL LED LAY-IN
  - SURFACE MOUNT 24" LED STRIP
  - SURFACE MOUNT 48" LED STRIP
  - CEILING MOUNT LED EXIT SIGN
  - CEILING LED EXIT SIGN WITH DIRECTIONAL ARROWS
- EXISTING LIGHTING FIXTURES ARE RELATIVELY NEW AND SHALL BE REUSED (RELOCATED) BASED ON THE NUMBER TRACKING SHOWN. LETTERED FIXTURES SHALL BE PURCHASED PER LIGHTING FIXTURE SCHEDULE.

## 1 LIGHTING PLAN NOTES

- EXISTING LIGHTING IN THIS ROOM TO REMAIN, MAINTAIN CONTINUITY IN EXISTING BRANCH CIRCUIT OR POWER FROM NEW CIRCUIT.
- CONNECT TO EXISTING EGRESS LIGHTING BRANCH CIRCUIT.
- CONNECT TO EXISTING BRANCH CIRCUIT.

## LIGHTING FIXTURE SCHEDULE

A	Type: 2x2 LED SELECTABLE BACKLIT PANEL Catalog: RAB #EZPANZX2-40N/D10 Color: WHITE Lamping: 4,542 LUMENS 4000K (40 WATTS MAX.) Mounting Height: MOUNT IN CEILING GRID	
B	Type: 1x2 LED WRAPAROUND Catalog: RAB #GUS 18W (2FT) Color: WHITE Lamping: 2,140 LUMENS 4,000K (19 WATTS) Mounting Height: SURFACE MOUNTED	
EX	Type: LED EXIT SIGN WITH BATTERY BACKUP Catalog: COMPASS #CCRG Color: WHITE Lamping: (3.9 WATTS) Mounting Height: 90"A.F.F. TO CENTERLINE OR CEILING MOUNTING	



LIGHTING  
FLOOR PLAN

SCALE: 1/8" = 1'-0"

## ROOM INDEX

100	NOT USED
101	ENTRY CORRIDOR
102	WAITING
103	RECEPTION
104	I.T.
105	CORRIDOR
106	NOT USED
107	STOR.
108	CONFERENCE
109	MAYOR OFFICE
110	PROSECUTOR
111	CLERK STOR.
112	I.T.
113	CLERK OPEN OFFICE
114	CORRIDOR
115	CONSULT
116	BREAK
117	CORRIDOR
118	MEN'S
119	WOMEN'S
120	WOMEN
121	JANITOR
122	MEN
123	CORRIDOR
124	PAYMENTS
125	CITY MANAGER
126	CITY MANAGER RECEPTIONIST
127	H.R.
128	STORAGE
129	CLERK OF COUNCIL STORAGE
130	CORRIDOR
131	CLERK OF COUNCIL
132	VAULT
133	COUNCIL CONFERENCE ROOM
134	A.V.
135	VENDING
136	CORRIDOR

Print Record

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2020-149/GG14

Date

MARCH 20, 2023

Sheet Title

ELECTRICAL  
PARTIAL FIRST FLOOR  
LIGHTING PLAN

Sheet Number

E2-1

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**City of Moraine Municipal Building**  
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1 SYSTEMS PLAN NOTES

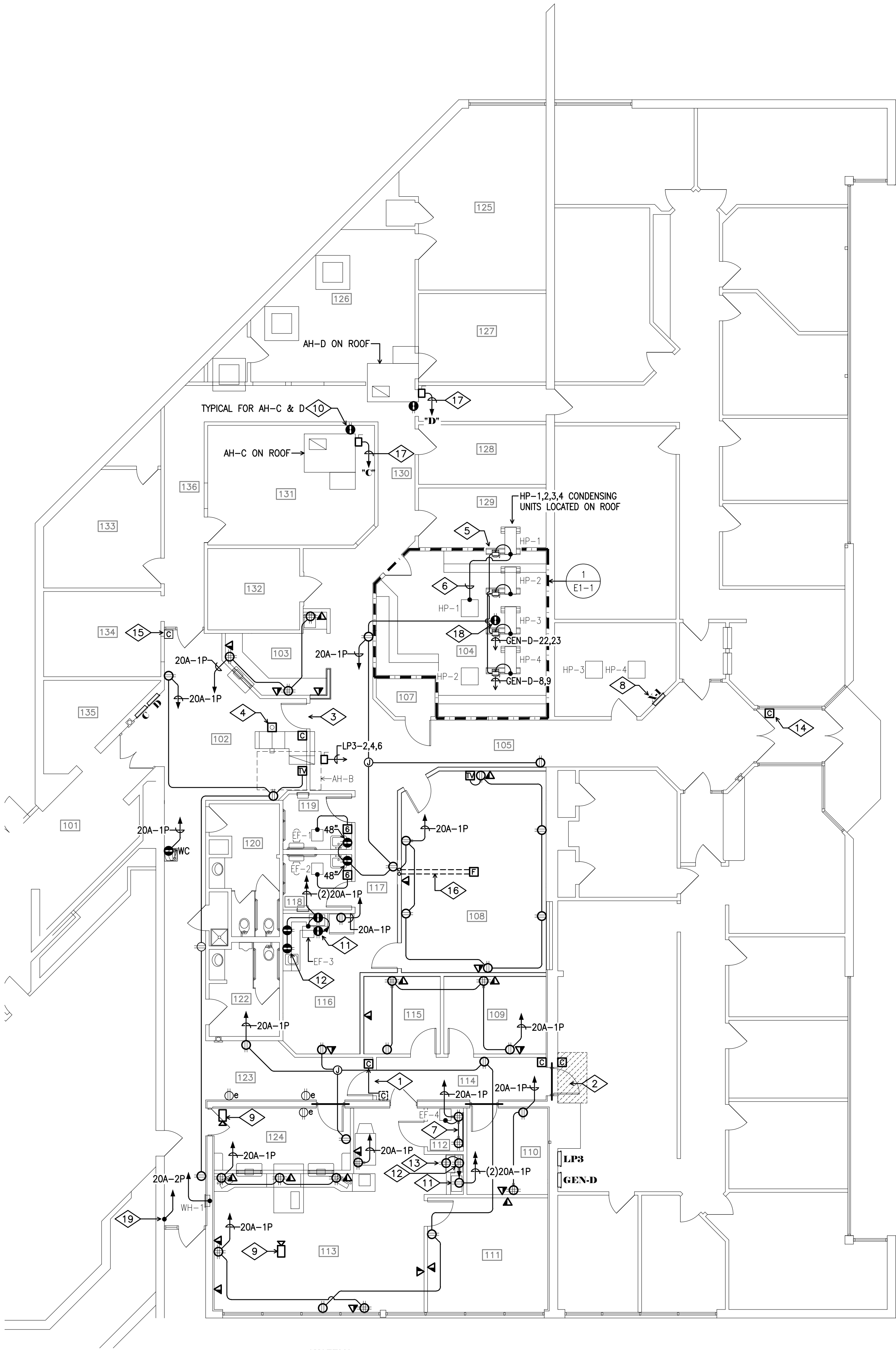
- 1 RELOCATED CARD READER. CARD READER ACCESS FROM CORRIDOR 123 – EGRESS IS ALWAYS AVAILABLE FROM CORRIDOR 114.
- 2 NEW SECURE ACCESS THAT CAN BE OPENED BY STAFF IN CASE OF EMERGENCY. DOOR TO REMAIN LOCKED WITH CARD READER ACCESS FROM BOTH SIDES.
- 3 CARD READER ACCESS FROM WAITING 102 – EGRESS IS ALWAYS AVAILABLE FROM CORRIDOR 103.
- 4 PROVIDE DUCT MOUNTED SMOKE DETECTOR AND WIRE TO EXISTING FIRE ALARM PANEL IN SECURITY OFFICE.
- 5 PROVIDE UNISTRUT SUPPORT, ANCHORED TO CONDENSING UNIT SUPPORT RAILS, (COORDINATE WITH HVAC CONT’R.) TO MOUNT FUSIBLE DISCONNECT SWITCH.
- 6 TYPICAL..PROVIDE 14/3 CABLE WITH GROUND TO CONNECT INDOOR CASSETTE WITH CONDENSING UNIT.
- 7 PROVIDE 3/4" x 48" x 96" PLYWOOD BACKBOARD PAINTED ON ALL SIDES WITH FIRE RETARDANT PAINT. MOUNT RECEPTACLES NEAR TOP CORNERS OF BACKBOARD. PROVIDE A 2" x 10" GROUNDING BAR AND #6 INSULATED CONDUCTOR BACK TO PANEL GROUND BUS SERVING RECEPTACLES.
- 8 ADD TWO 20A–1P AND TWO 30A–1P CIRCUIT BREAKERS TO EXISTING PANEL TO HANDLE NEW BRANCH CIRCUITS IN I.T. ROOM.
- 9 SECURITY CAMERA DROP BY OWNER’S SECURITY CONTRACTOR.
- 10 WP RECEPTACLE AND POWER TRANSFORMER PROVIDED WITH UNIT.
- 11 DEDICATED CIRCUIT FOR SHELF MOUNTED MICROWAVE RECEPTACLE. VERIFY HEIGHT WITH ARCHITECT ON JOB SITE.
- 12 TYPICAL LOCATE RECEPTACLES 6" ABOVE COUNTERTOP TO CENTERLINE.
- 13 PROVIDE RECEPTACLE BELOW COUNTER FOR UNDERCOUNTER REFRIGERATOR.
- 14 NEW CARD READER ACCESS – EGRESS IS ALWAYS AVAILABLE FROM CORRIDOR 105.
- 15 EXISTING CARD READER ACCESS TO REMAIN.
- 16 CUT FLOOR SLAB AND INSTALL 3/4"C. FOR POWER AND 1" CONDUIT FOR DATA. RUN DATA CONDUIT TO CEILING CAVITY.
- 17 RUN NEW BRANCH CIRCUIT TO PANEL INDICATED AND PROVIDE 30A–3P "HACR" CIRCUIT BREAKER AND CONNECTION.
- 18 PROVIDE WP RECEPTACLE ON UNISTRUT APPX. 18" ABOVE ROOF.
- 19 PROVIDE 20A/120V BRANCH CIRCUIT AT THIS DOOR LOCATION FOR SECURITY ACCESS CONTROL CONTRACTOR’S USE.

ROOM INDEX

- 100 NOT USED  
101 ENTRY CORRIDOR  
102 WAITING  
103 RECEPTION  
104 I.T.  
105 CORRIDOR  
106 NOT USED  
107 STOR.  
108 CONFERENCE  
109 MAYOR OFFICE  
110 PROSECUTOR  
111 CLERK STOR.  
112 I.T.  
113 CLERK OPEN OFFICE  
114 CORRIDOR  
115 CONSULT  
116 BREAK  
117 CORRIDOR  
118 MEN’S  
119 WOMEN’S  
120 WOMEN  
121 JANITOR  
122 MEN  
123 CORRIDOR  
124 PAYMENTS  
125 CITY MANAGER  
126 CITY MANAGER RECEPTIONIST  
127 H.R.  
128 STORAGE  
129 CLERK OF COUNCIL STORAGE  
130 CORRIDOR  
131 CLERK OF COUNCIL  
132 VAULT  
133 COUNCIL CONFERENCE ROOM  
134 A.V.  
135 VENDING  
136 CORRIDOR

MOTOR EQUIPMENT SCHEDULE

HP-1	Description: HEAT PUMP #HP-1 Voltage: 208V-1PH Load: 14.8 FLA Circuit Amps: 25 MCA, 35A/2P MOCP Branch Circuit: 2#10,#10GRD.,1/2"C.	Disconnect: Provide 60A-2P NEMA-3R fused service disconnect on outdoor unit. Interlock: Provide 14/3 with ground between indoor unit and outdoor unit.
HP-2	Description: HEAT PUMP #HP-1 Voltage: 208V-1PH Load: 14.8 FLA Circuit Amps: 25 MCA, 35A/2P MOCP Branch Circuit: 2#10,#10GRD.,1/2"C.	Disconnect: Provide 60A-2P NEMA-3R fused service disconnect on outdoor unit. Interlock: Provide 14/3 with ground between indoor unit and outdoor unit.
HP-3	Description: HEAT PUMP #HP-1 Voltage: 208V-1PH Load: 14.8 FLA Circuit Amps: 25 MCA, 35A/2P MOCP Branch Circuit: 2#10,#10GRD.,1/2"C.	Disconnect: Provide 60A-2P NEMA-3R fused service disconnect on outdoor unit. Interlock: Provide 14/3 with ground between indoor unit and outdoor unit.
HP-4	Description: HEAT PUMP #HP-1 Voltage: 208V-1PH Load: 14.8 FLA Circuit Amps: 25 MCA, 35A/2P MOCP Branch Circuit: 2#10,#10GRD.,1/2"C.	Disconnect: Provide 60A-2P NEMA-3R fused service disconnect on outdoor unit. Interlock: Provide 14/3 with ground between indoor unit and outdoor unit.
AH-B	Description: AH-B ROOFTOP UNIT Voltage: 208V-3PH Load: 53 FLA Circuit Amps: 48 MCA, 60A/3P MOCP Branch Circuit: 3#8,#10GRD.,3/4"C.	Disconnect: Circuit breaker disconnect provided with unit. Accessories: Integral convenience receptacle and power transformer.
AH-C	Description: AH-C ROOFTOP UNIT Voltage: 208V-3PH Load: 23 FLA Circuit Amps: 23 MCA, 30A/3P MOCP Branch Circuit: 3#12,#12GRD.,3/4"C.	Disconnect: Circuit breaker disconnect provided with unit. Accessories: Integral convenience receptacle and power transformer.
AH-D	Description: AH-D ROOFTOP UNIT Voltage: 208V-3PH Load: 25 FLA Circuit Amps: 25 MCA, 30A/3P MOCP Branch Circuit: 3#12,#12GRD.,3/4"C.	Disconnect: Circuit breaker disconnect provided with unit. Accessories: Integral convenience receptacle and power transformer.
EF-1	Description: EXHAUST FAN EF-1 Voltage: 120V-1PH Load: 13.4 W Circuit Amps: 20 MCA, 20A/1P MOCP Branch Circuit: 2#12,#12GRD.,1/2"C.	Disconnect: Provided with integral disconnect. Control: Wall mounted combination fan & light motion sensor provided by the Electrical Contractor.
EF-2	Description: EXHAUST FAN EF-2 Voltage: 120V-1PH Load: 13.4 W Circuit Amps: 20 MCA, 20A/1P MOCP Branch Circuit: 2#12,#12GRD.,1/2"C.	Disconnect: Provided with integral disconnect. Control: Wall mounted combination fan & light motion sensor provided by the Electrical Contractor.
EF-3	Description: EXHAUST FAN EF-3 Voltage: 120V-1PH Load: 22.4 W Circuit Amps: 20 MCA, 20A/1P MOCP Branch Circuit: 2#12,#12GRD.,1/2"C.	Disconnect: Provided with integral disconnect. Control: Pilot light switch furnished by HVAC Contractor and wired by the Electrical Contractor.
EF-4	Description: EXHAUST FAN EF-4 Voltage: 120V-1PH Load: 17 W Circuit Amps: 20 MCA, 20A/1P MOCP Branch Circuit: 2#12,#12GRD.,1/2"C.	Disconnect: Provided with integral disconnect. Control: Reverse action thermostat furnished by HVAC Contractor and wired by Electrical Contractor.
WH-1	Description: WALL HEATER WH-1 Voltage: 208V-1PH Load: 2 KW Circuit Amps: 12 MCA, 20A/2P MOCP Branch Circuit: 2#12,#12GRD.,1/2"C.	Disconnect: Provided with integral disconnect.



SYSTEMS  
FLOOR PLAN  
SCALE: 1/8"= 1'-0"

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REGISTERED  
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Phase I Modernization for:  
**City of Moraine Municipal Building**

4200 Dryden Road  
Moraine, OH 45439

Print Record  
3/20/23 Bld/Construction Set

Project Numbers  
2020-149/GG14

Date  
MARCH 20, 2023

Sheet Title

ELECTRICAL  
PARTIAL FIRST FLOOR  
SYSTEMS PLAN

Sheet Number

E2-2



PANELBOARD SCHEDULE															
PANEL: C										LOCATION: WAITING 102					
VOLTAGE: 120/208V-3PH-4W										MOUNTING: FLUSH					
TYPE: 225A M.L.O. CUTLER HAMMER CHB															
C.B. NO.	KVA			LOAD DESCRIPTION	WIRE SIZE	C.B.		C.B. POLE	WIRE SIZE	LOAD DESCRIPTION	KVA			C.B. NO.	
	A	B	C			POLE	AMP.				A	B	C		
1				LIGHTS FIN. DEPT.	12	1	20		1	20	LIGHTS FIN. DEPT.			2	
3				LIGHTS FIN. DEPT.	12	1	20		1	20	LIGHTS DIR.			4	
5				LIGHTS DRAFTING	12	1	20		1	20	LIGHTS ENGINEER			6	
7				LIGHTS CITY MANAGER	12	1	20		1	20	LIGHTS SECY. CITY MGR.			8	
9				LIGHTS ROOM 141	12	1	20		1	20	LIGHTS BLDG. INSP.			10	
11				LIGHTS TELEP. & STOR.	12	1	20		1	20	LIGHTS COUNTER & VAULT			12	
13				RCPTS. FIN. DIR.	12	1	20		1	20	RCPTS. ENGINEER			14	
15				RCPTS. CITY MGR.	12	1	20		1	20	RCPTS. SECY. & MGR.			16	
17				RCPTS. ENG. & RECS.	12	1	20		1	20	RCPTS. ROOM 141			18	
19				RCPTS. ROOM 141 & SECY.	12	1	20		1	20	RCPTS. BLDG INSP.			20	
21				RCPTS. ROOM 147 STOR.	12	1	20		1	20	RCPTS ROOM 144 & 145			22	
23				RCPTS COAT & COURT	12	1	20		1	20	RECEPTIONIST RCPTS.			24	
25				COPY ROOM	12	1	20		1	20	CLERK OFF. CREDIT CARD			26	
27				PAY PHONE	12	1	20		1	20	RECEPTIONIST RCPTS.			28	
29				COURT COMPUTER	12	1	20		1	20	RECEPTIONIST RCPTS.			30	
31				TIME CLOSK	12	1	20		1	20	WORK ROOM RCPTS.			32	
33				VENDING MACHINE	12	1	20		1	20	RECEPTIONIST RCPTS.			34	
35				?			1	20	3	20	OFF			36	
37				?			1	20				AV TRANS. IN COUNCIL CHAMBERS			38
39				?			1	20							40
41				?			1	20	1		SPACE			42	
LP TOTAL KVA = 0.0															
LINE AMP. = 0.0															
DEMAND AMP. = 13.9															

PANELBOARD SCHEDULE															
PANEL: D										LOCATION: WAITING 102					
VOLTAGE: 120/208V-3PH-4W										MOUNTING: SURFACE					
TYPE: 225A M.L.O. CUTLER HAMMER CHB															
C.B. NO.	KVA			LOAD DESCRIPTION	WIRE SIZE	C.B.		C.B.		WIRE SIZE	LOAD DESCRIPTION	KVA			C.B. NO.
	A	B	C			POLE	AMP.	POLE	AMP.			A	B	C	
1				LIGHTS RESTROOM		1	20		1	20	LIGHTS CONFERENCE				2
3				LIGHTS CORR. & ROOM 153		1	20		1	20	LIGHTS ATTY. & MAYOR				4
5				LIGHTS COUNCIL CLERK		1	20		1	20					6
7				RCPTS. RESTROOM & CONF.		1	20		1	20	RCPTS. ATTORNEY				8
9				RCPTS. MAYOR		1	20		1	20	RCPTS. COUNCIL CLERK				10
11				RCPTS. GARAGE & ROOM 153		1	20		1	20	LIGHTS CONFERENCE				12
13				WATER COOLER		1	20		1	20					14
15				LIGHTS ENTRY CORR.		1			1	20					16
17				LIGHTS COAT ROOM		1	20		1	20	CORR. 159 HEATER				18
19				SPARE		1			1	20	OFFICE RCPT. IN OLD GARAGE				20
21				EXH. FAN ROOF		1	20		1	20	SPARE				22
23						1	20		1		SPACE				24
25					OFF	2	20		1	20	TRIP	220V HEATER CITY MGR.			26
27								1	20				28		
29				CAMERA REAR CITY HALL		1	20		2	20	OFF				30
31															32
33						2	30		1		SPACE				34
35				SPACE		1			1		SPACE				36
37				SPACE		1			1		SPACE				38
39				SPACE		1			1		SPACE				40
41				SPACE		1			1		SPACE				42
PP TOTAL KVA = 0.0															
LINE AMP. = 0.0															
DEMAND AMP. = #REF!															

PANELBOARD SCHEDULE																	
PANEL: LP3										LOCATION: ADMINISTRATION OFFICE							
VOLTAGE: 120/208V-3PH-4W										MOUNTING: FLUSH							
TYPE: 225A M.L.O. SQUARE-D NQOD																	
C.B. NO.	KVA			LOAD DESCRIPTION	WIRE SIZE	C.B.		C.B. POLE	AMP.	WIRE SIZE	LOAD DESCRIPTION	KVA			C.B. NO.		
	A	B	C			POLE	AMP.					A	B	C			
1	1.00			148 LIGHTING			1	20		8	NEW ROOFTOP UNIT AH-B	6.36			2		
3		1.00		E. PRKG. LOT/2 POLE LGT.			1	20		8			6.36			4	
5			1.00	142, 143 LIGHT			1	20		8					6.36	6	
7	1.00			ENTRY LIGHT			1	20		1						8	
9		1.00		144, 147 LIGHT			1	20		1		SPACE				10	
11			1.00	SOUTH POLE LIGHT			1	20		1	20	FINANCE RCPT.			0.90	12	
13	1.00			139 LIGHT			1	20		1	20	FINANCE RCPT.	0.90			14	
15		1.20		COPY			1	20		1	20	FINANCE RCPT.		0.90		16	
17				SPACE			1			1		SPACE				18	
19	0.90			138 RCPT.			1	20					4.24			20	
21		0.90		135 RCPT.			1	20		3	40	RTU-3 FINANCE INSIDE WALL		4.24		22	
23			0.90	138 RCPT.			1	20								4.24	24
25	0.90			142 RCPT.			1	20		1			SPACE				26
27		0.90		148 RCPT.			1	20		1	20		139 RCPT.		0.90		28
29				SPACE			1			1		SPACE				30	
31	0.90			148 RCPT.			1	20		1	20	143 RCPT.	0.90			32	
33				SPACE			1			1	20	144 RCPT.		0.90		34	
35				SPACE			1			1	20	145 RCPT.			0.90	36	
37	1.00			N.W. POLE LIGHT			1	20		1	20	146 RCPT.	0.90			38	
39		0.90		138-135 RCPT. & HALL LTS.			1	20		1		SPACE				40	
41			1.00	S.W. POLE LIGHT			1	20		1		SPACE				42	
PP TOTAL KVA = 55.5																	
LINE AMP. = 154.2																	
DEMAND AMP. = 147.7																	
NOTE: REPLACE CIRCUIT BREAKER 2,4,6 WITH NEW HACR BREAKER SIZE INDICATED																	

PANELBOARD SCHEDULE																
PANEL: GEN-D										LOCATION: ADMINISTRATION OFFICE						
VOLTAGE: 120/208V-3PH-4W										MOUNTING: FLUSH						
TYPE: 225A M.L.O. SQUARE-D NQOD																
C.B. NO.	KVA			LOAD DESCRIPTION	WIRE SIZE	C.B.		C.B. POLE	WIRE SIZE	LOAD DESCRIPTION	KVA			C.B. NO.		
	A	B	C			POLE	AMP.				A	B	C			
1	0.90			RM. 134,136 FINANCE RCPT.			1	20			3.60			16		
2		0.90		RM. 131,129 FINANCE RCPT.			1	20	3	40		3.60		17		
3			0.90	RM. 130,132 FINANCE RCPT.			1	20							3.60	18
4	1.20			RM. 148 HEAT CIRCUIT/MAP COPIER			1	20					3.60			19
5		0.90		RM. 137,139 FINANCE RCPT.			1	20	3	40				20		
6			0.90	RM. 143 LOBBY, COMM. FD. RCPT.			1	20					3.60			21
7				RM. 139 FINANCE FRONT DESK.			1	20						3.60		22
8				SPARE			2	20	2	50	8			3.08	23	
9									1	20				3.08	24	
10	0.90			R. 147 ENGINEERS OFFICE RCPT.			1	20	1	20				0.90	25	
11		1.00		RM. 129,131 FINANCE LIGHTS			1	20								
		1.00		RM. 144,147 LIGHTS			1	20								
			1.00	RM. 132,139 LIGHTS			1	20					3.00		26	
12			1.00	LIGHTING			1	20	3	100						
13	0.90			COMPUTER RCPT.			1	20							3.00	27
14		0.10		DUCT DETECTORS			1	20					4.80			28
15			0.90	SERVER ROOM RCPTS.			1	20	2	50	8		3.08		29	
PP TOTAL KVA = 59.1																
LINE AMP. = 164.3																
DEMAND AMP. = 148.7																
NOTE: REPLACE CIRCUIT BREAKERS 22,23 AND 29,30 WITH NEW HACR BREAKER SIZE INDICATED.																