

Partial Roof Replacement 2016 at:

City of Moraine Municipal Building

4200 Dryden Road
Moraine, Ohio 45439

OWNER

City of Moraine
4200 Dryden Road
Moraine, OH 45439

DESIGN TEAM

ARCHITECT:



STATE OF OHIO
REGISTERED ARCHITECT
JONATHAN ROBERT SCHAAF
14503
Jonathan Robert SchAAF #14503
Expiration Date 12/31/2017

This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing. © RDA 2016

SHEET INDEX

- TI.1 TITLE SHEET / PROJECT INFORMATION
- AI.1 ROOF PLAN / GENERAL NOTES
- AI.2 DETAILS

CODE REVIEW

CONSTRUCTION TYPE II B

USE GROUP: B, BUSINESS - MUNICIPAL OFFICES

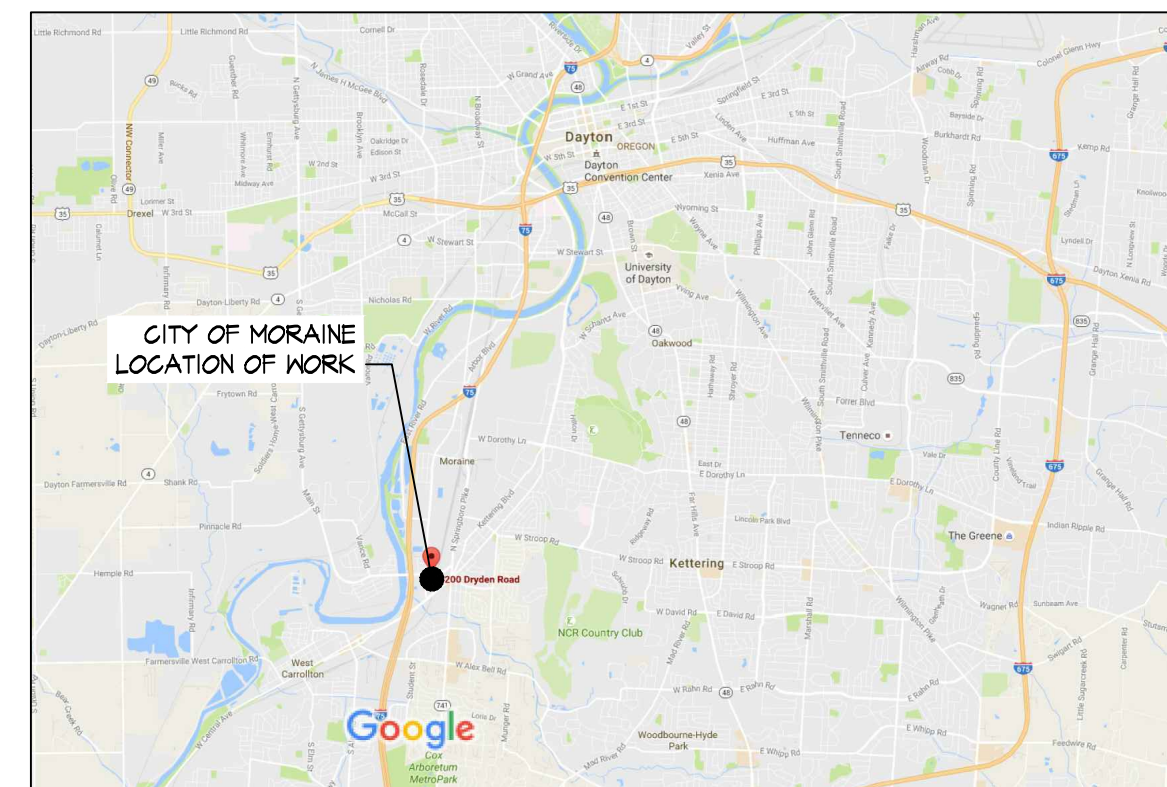
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS.

NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA. NO CHANGE OF EXISTING UNIT SEPARATION WALLS

EXISTING BUILDING CONSTRUCTION

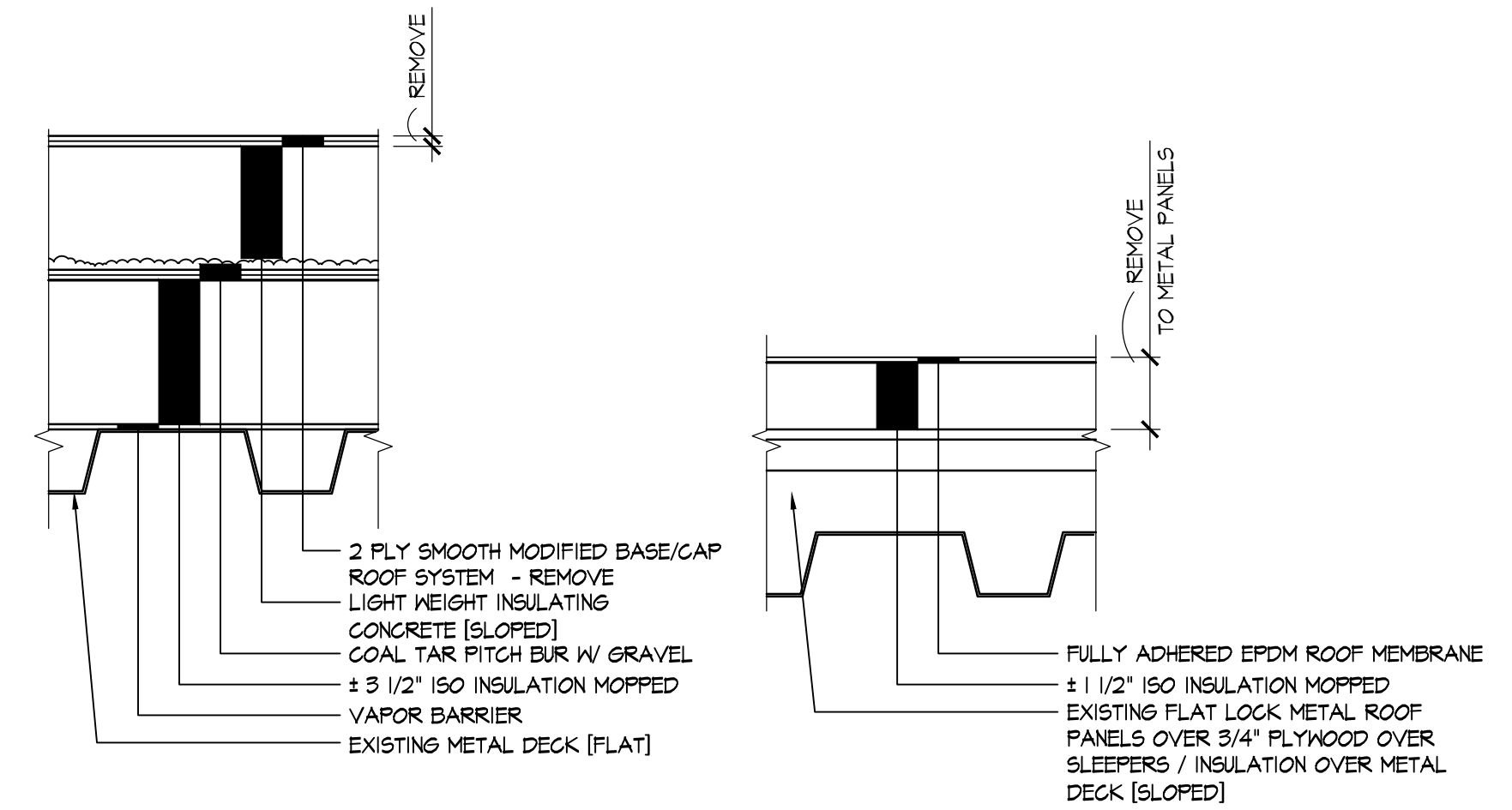
STRUCTURE: CONCRETE / CMU BEARING WALL WITH STEEL SKELETON STRUCTURAL SYSTEM.
EXTERIOR WALLS: CMU
PARTITION WALLS: METAL STUD WITH DRYWALL

VICINITY MAP

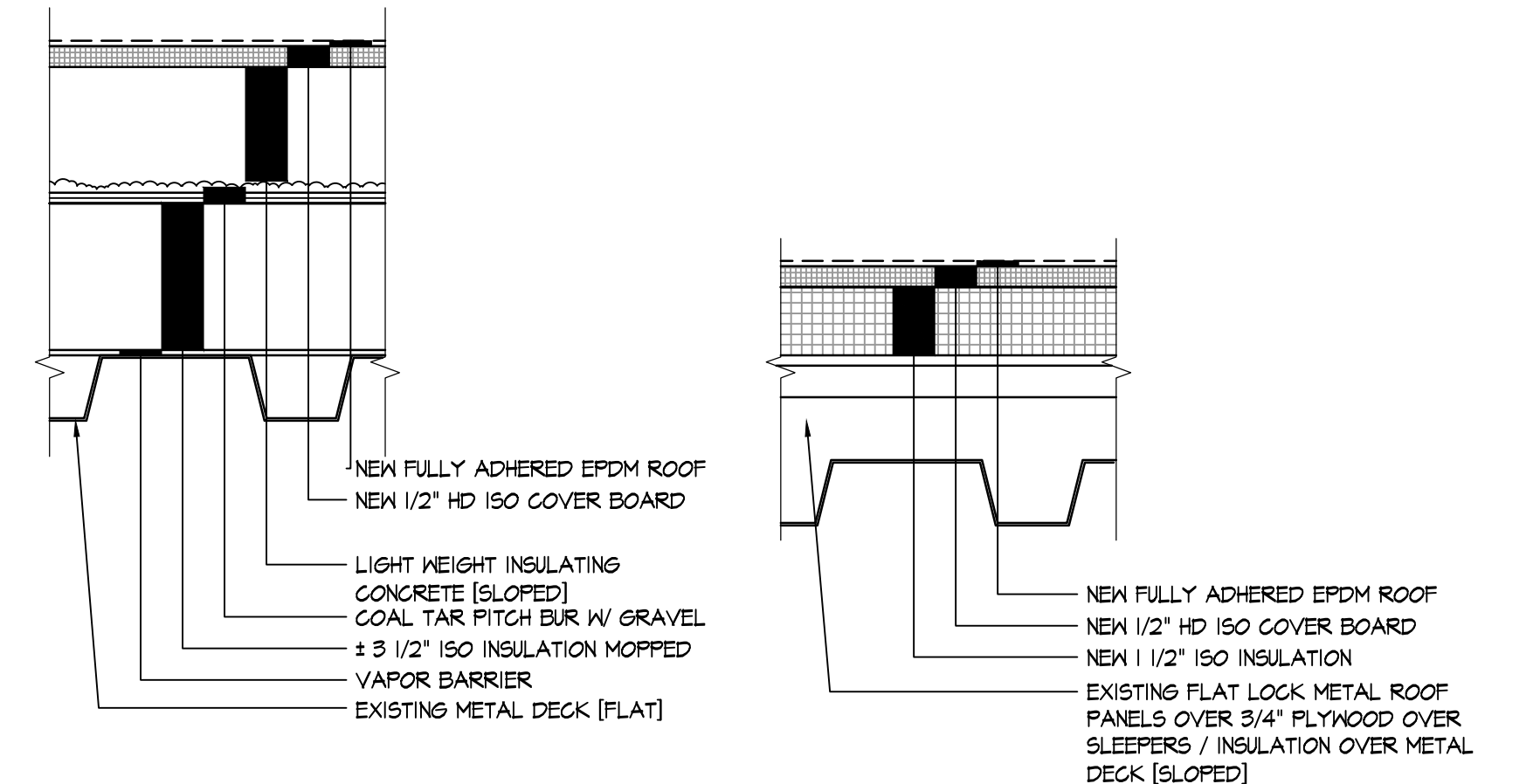


GENERAL PROJECT NOTES / REQUIREMENTS

1. THE INTENT OF THESE DOCUMENTS IS A ROOF REPLACEMENT PROJECT AT THE CITY OF MORAIN MUNICIPAL BUILDING.
2. BUILDING WILL BE FULLY OCCUPIED DURING CONSTRUCTION FOR ON-GOING OPERATIONS. CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH OWNER AND THE DESIGN TEAM TO MINIMIZE THE IMPACT ON THE OCCUPANTS - REFER TO SPECIFICATIONS. CONTRACTOR SHALL INCLUDE ANY ADDITIONAL COSTS FOR PROJECT SCHEDULING AS INDICATED HEREIN AND WITHIN SPECIFICATIONS.
3. MAINTAIN ALL REQUIRED PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE BARRICADES AND BARRIERS AT BUILDING ENTRANCES AS NECESSARY TO MAINTAIN SAFE INGRESS/EGRESS.
4. CONTRACTOR SHALL USE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING INTERIOR PORTIONS OF THE BUILDING. PROVIDE ALL TEMPORARY PROTECTION REED.
5. THE GENERAL CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION FOR ACCURACY AS SHOWN WITH THE INTENT OF THESE DRAWINGS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF CONDITIONS.
6. DRAWINGS MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY SLIGHTLY FROM AREA TO AREA. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS.
7. ALL WORK SHALL CONFORM TO THE 2011 OHIO BUILDING CODE AND ALL OTHER LOCAL GOVERNING CODES. GENERAL CONTRACTOR TO APPLY, BE RESPONSIBLE FOR COORDINATION OF, AND PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
8. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
9. THE GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING ITEMS THAT MAY IMPACT INTENDED WORK PRIOR TO PROCEEDING WITH WORK. REPORT ANY CONCEALED ELEMENTS OR DIFFERING CONDITIONS WHICH MAY AFFECT CONSTRUCTION TO THE ARCHITECT.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN WORK OF OTHER TRADES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION SAFETY. COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. THIS INCLUDES APPLICABLE FIRE WATCH FOR ANY HOT WORK TO BE CONDUCTED AS PART OF THE PROJECT.
12. CONTRACTOR TO INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
13. DO NOT SCALE DRAWINGS. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS/EXTENT OF WORK REQUIRED AND INFORMATION IN THESE DRAWINGS GOVERNING THEIR SCOPE OF THE WORK. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES IN THESE DRAWINGS WHICH ARE DISCOVERED ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK. ANY SITE OR JOB CONDITIONS THAT ARISE AND CAUSE THE CONTRACTOR TO VARY FROM THE CONTRACT DOCUMENTS SHALL BE ANALYZED BY AND ARE THE RESPONSIBILITY OF THE CONTRACTOR IF THEY ARE NOT REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
14. DIMENSIONING:
 - A. ALL DIMENSIONS ARE FROM EXISTING FINISHED SURFACE
 - B. REFER TO DRAWING NOTES FOR ANY SPECIAL NOTES THAT GOVERN LAYOUT.
 - C. ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT VERIFICATION IN THE FIELD.
15. CONTRACTOR SHALL PROVIDE ON-SITE SECURABLE CONSTRUCTION MATERIALS STORAGE AND TRASH DUMPSTER FOR THE PROJECT. LOCATE IN AN APPROVED LOCATION. COORDINATE WITH THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING REQUIRED SECURITY/PROTECTION MEASURES.
16. CONTRACTOR SHALL CLEAN THE CONSTRUCTION SITE ON A DAILY BASIS FROM ALL CONSTRUCTION DEBRIS. SITE MUST BE KEPT IN A NEAT ORDERLY FASHION AT ALL TIMES.
17. CONTRACTOR SHALL PROVIDE ALL NECESSARY CRANES, MAN-LIFTS, CHUTES, ETC. FOR THE PROPER EXECUTION OF THE WORK.
18. THE CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS AND FIELD VERIFY ALL CONDITIONS, DIMENSIONS, SLOPES, DETAILS, ETC. PRIOR TO THE START OF WORK. REPORT ANY CONCEALED COMPONENTS THAT MAY AFFECT CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND LOCATE EXISTING DRAINS, CURBS, PENETRATIONS, ETC. PRIOR TO THE START OF NEW WORK. DO NOT SCALE THE DRAWINGS. ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ROOF CONSULTANT FOR CLARIFICATION.
19. THE CONTRACTOR SHALL TO VERIFY ALL EXISTING DRAINAGE SYSTEMS (INTERNAL ROOF DRAINS, SCUPPERS, GUTTERS, ETC.) ARE FREE-FLOWING AND DRAINING PROPERLY. START OF WORK IMPLIES ACCEPTANCE OF CONDITIONS. IF DRAINAGE SYSTEMS BECOME CLOGGED DURING WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADDRESS AND UN-CLOG ANY DRAINAGE SYSTEM COMPONENT AT THEIR EXPENSE.
20. THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL EXISTING DRAINS AND NOTIFY THE ROOF CONSULTANT OF ANY REPAIRS THAT ARE NECESSARY SUCH AS BROKEN DRAIN BOLTS, CLAMPING RINGS, ETC. ALL DRAINS REQUIRE NEW FLASHING AND ANY COMPONENTS TO MAKE / MAINTAIN THEM OPERATIONAL.
21. START OF WORK IMPLIES ACCEPTANCE OF ALL EXISTING CONDITIONS. NOTIFY ROOF CONSULTANT OF ANY DEVIATIONS OR DISCREPANCIES FROM THE INTENT OF THE DOCUMENTS.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN OF OTHER TRADES, SUB-CONTRACTORS, ETC. AS APPLICABLE.
23. THE CONTRACTOR SHALL INSTALL ALL MATERIALS, FLASHINGS, TERMINATIONS, ETC. ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY ALL POSSIBLE DETAIL CONDITIONS, REQUIRED FLASHINGS, ETC. COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER FOR ACCEPTANCE.
24. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A COMPLETE SET OF MSDS SHEETS FOR ALL MATERIALS USED ON THE PROJECT ON THE PROJECT SITE.
25. ALL WORK SHALL BE COORDINATED TO MINIMIZE DISTURBANCE TO THE BUILDING OCCUPANTS. THE CONTRACTOR SHALL COORDINATE SHUT DOWN OF HVAC / VENTILATION SYSTEMS, ETC. A MINIMUM OF 48 HOURS PRIOR TO ANY DISRUPTION OF SERVICE.
26. CONTRACTOR SHALL DISCONNECT AND RECONNECT ALL HVAC EQUIPMENT INCLUDING ELECTRICAL CONNECTION, REFRIGERANT PIPING, ETC. PROVIDE OWNER A 48 HOUR NOTICE PRIOR TO PERFORMING THIS WORK.
27. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE PROTECTION FROM VAPORS, FUMES, SMELL, ETC. FROM ENTERING THE BUILDING TO THE BEST OF THEIR ABILITY. PROVIDE PROTECTION OF EXISTING SYSTEMS AS REQUIRED, COORDINATE WITH THE OWNER.
28. PROJECT STAGING AREA SHALL BE COORDINATED WITH THE OWNER.
29. ROOF ACCESS SHALL BE PROVIDED VIA CONTRACTOR PROVIDED/MAINTAINED LADDER. NO DIRECT ACCESS WILL BE PROVIDED TO OTHER AREAS OF THE INTERIOR OF THE BUILDING UNLESS SPECIFICALLY APPROVED AND COORDINATED BY THE OWNER.
30. THE CONTRACTOR SHALL CLEAN THE WORK SITE ON A DAILY BASIS FROM ALL CONSTRUCTION DEBRIS. ENSURE THAT ALL DEBRIS AND MATERIALS LOCATED ON THE ROOF ARE PROPERLY SECURED/STRAFFED DOWN. NO DEBRIS SHALL BE LEFT ON THE GROUNDS AROUND THE BUILDING AT ANY TIME.
31. THE CONTRACTOR SHALL REMOVE ALL UNUSED VENT PIPES, EQUIPMENT SUPPORTS, ETC. COORDINATE WITH THE OWNER.
32. ENSURE THAT ALL PENETRATIONS ARE PROPERLY SUPPORTED BELOW THE DECK.
33. CONTRACTOR SHALL CHECK FOR ROOFTOP CONDUITS, OBSTRUCTIONS, ETC. UNDER DECK PRIOR TO APPLICATION OF INSULATION, MECHANICAL FASTENING, ETC. COORDINATE ACCESS TO BELOW ROOF DECK WITH BUILDING OWNER.
34. REMOVE AND REINSTALL EXISTING CONDUITS/CABLING, ETC. AS REQUIRED TO INSTALL NEW ROOF SYSTEM.
35. TAPERED INSULATION OR SADDLES LAYOUT AS SHOWN PROVIDES A GUIDE, FOLLOW THE INTENT OF THE DRAWINGS, ONLY SLIGHT ADJUSTMENTS SHALL BE MADE. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURERS SCALED LAYOUT.
36. THE CONTRACTOR SHALL VERIFY EXISTING DECK SURFACES AND SLOPES PRIOR TO INSTALLATION OF NEW INSULATION/TAPERED INSULATION, ETC. TAKE ALL PROVISIONS TO ENSURE PROPER DRAINAGE INCLUDING STRING LEVELING THE DECK, ETC. TO DETERMINE ANY IRREGULARITIES, BELLY, RIDGE, ETC. THAT MAY AFFECT THE PROPER FLOW OF WATER TO THE DRAINAGE SYSTEM.
37. AT THE END OF EACH WORK DAY, ALL WORK SHALL BE COMPLETED IN SUCH A MANNER TO BE ADEQUATELY SEALED WATER-TIGHT TO EITHER EXISTING ROOF SYSTEMS OR PROPER FLASHINGS / TERMINATIONS AS IS APPLICABLE TO THE WORK. ALL PROVISIONS MUST BE TAKEN TO MINIMIZE ANY LEAKS INTO THE BUILDING.



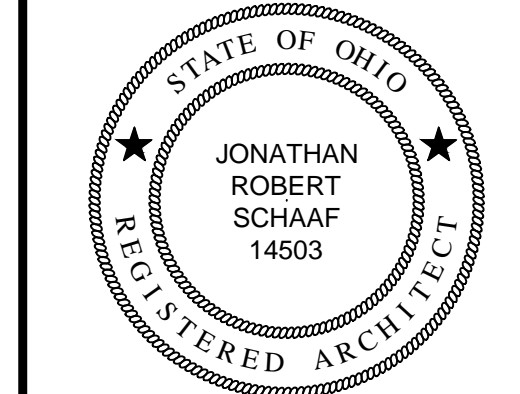
EXISTING ROOF MATRIX
N.T.S.
NOTE: CONTRACTOR SHALL VERIFY EXISTING ROOF CONDITIONS



PROPOSED ROOF MATRIX
N.T.S.

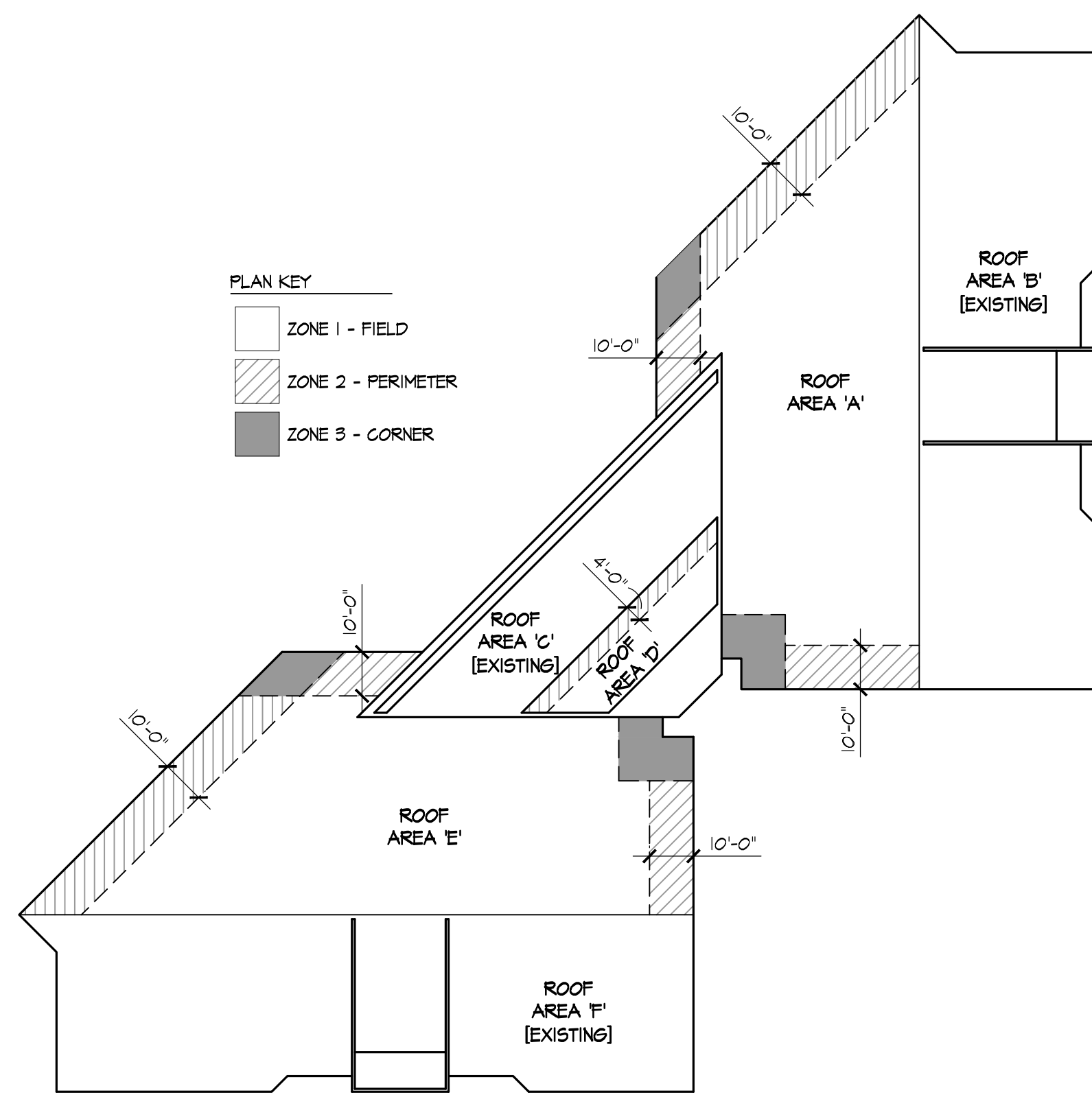
Partial Roof Replacement 2016 at:
City of Moraine Municipal Building
4200 Dryden Road
Moraine, Ohio 45439
PREPARED FOR THE CITY OF MORAIN

| |
|------------------------------------|
| Print Record |
| 08/08/16 REVIEW |
| 08/26/16 BID SET |
| Project Number |
| 2016-092 |
| Date |
| AUGUST 26, 2016 |
| Sheet Title |
| TITLE SHEET PROJECT INFORMATION |
| Sheet Number |
| TI.1 |



Jonathan Robert SchAAF #14503
Expiration Date 12/31/2017

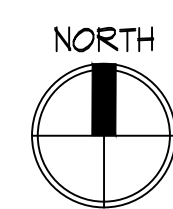
This drawing is the architect's instrument of service for use solely with respect to this project. RDA Group Architects is the author of this document and shall retain all copyrights and other reserved rights, unless otherwise agreed upon in writing.



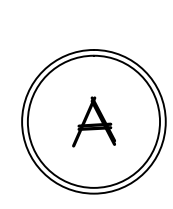
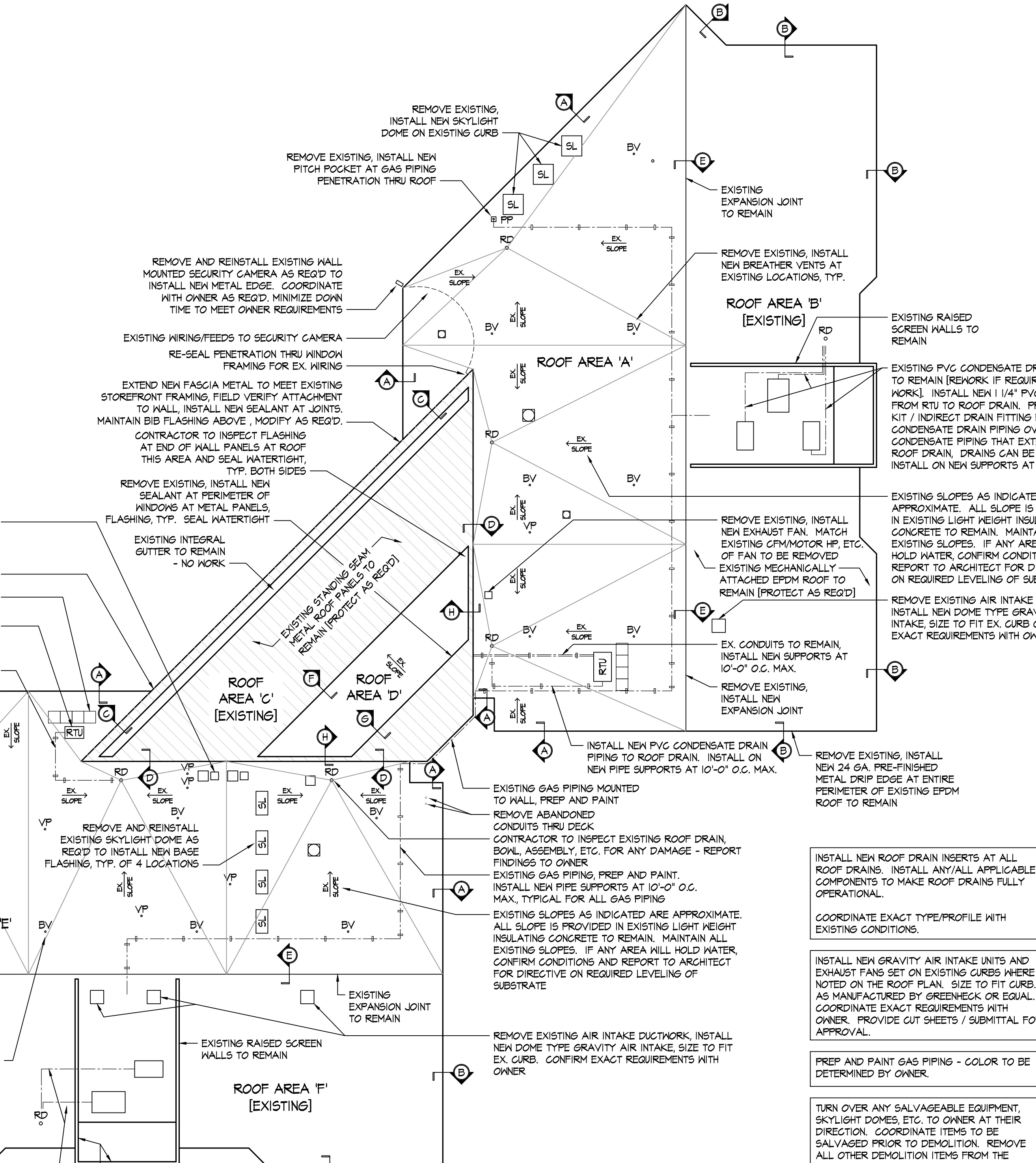
OVERALL ROOF PLAN INDICATING INCREASED SECUREMENT REQUIREMENTS



- PLAN KEY**
- ZONE 1 - FIELD
 - ▨ ZONE 2 - PERIMETER
 - ZONE 3 - CORNER



- REMOVE / LIFT-OFF EX. EXHAUST FANS, ETC. AS REQ'D TO INSTALL NEW BASE FLASHING, TYP. REMOVE ABANDONED UNITS FROM THE ROOF, INFILL OPENING IN DECK. COORDINATE WITH OWNER.
- EXTEND NEW FASCIA METAL TO MEET EXISTING STOREFRONT FRAMING, FIELD VERIFY ATTACHMENT TO WALL, INSTALL NEW SEALANT AT JOINTS. MAINTAIN BIB FLASHING ABOVE, MODIFY AS REQ'D.
- INSTALL WALK PADS AROUND ALL ROOFTOP UNITS, TYP.
- INSTALL NEW 24 GA. PRE-FINISHED METAL DRIP EDGE AT ROOFTOP UNITS, TYP.
- INSTALL NEW PVC CONDENSATE DRAIN PIPING TO ROOF DRAIN, INSTALL ON NEW PIPE SUPPORTS AT 10'-0" O.C. MAX.
- REMOVE EXISTING, INSTALL NEW ROOF DRAINS IN EXISTING LOCATIONS, TYP.
- REMOVE EXISTING, INSTALL NEW SKYLIGHT DOME ON EXISTING CURB
- REMOVE EXISTING WOOD CURB, INSTALL NEW FLASHABLE RAIL CURB UNDER EXISTING UNIT
- INSTALL NEW POURABLE SEALER AT EXISTING PITCH POCKET THIS LOCATION, ENSURE EXISTING LINESETS, CONDUITS, ETC. ARE SEALED WATERTIGHT
- EXISTING LINESETS AND ELECTRICAL CONDUIT TO REMAIN. REMOVE EX. WOOD BLOCKS, INSTALL NEW SUPPORTS
- REMOVE EXISTING, INSTALL NEW 24 GA. PRE-FINISHED METAL DRIP EDGE AT ENTIRE PERIMETER OF EXISTING EPDM ROOF TO REMAIN
- REMOVE EXISTING, INSTALL NEW EXPANSION JOINT
- REMOVE EXISTING, INSTALL NEW BREATHER VENTS AT EXISTING LOCATIONS, TYP.
- EXISTING MECHANICALLY ATTACHED EPDM ROOF TO REMAIN [PROTECT AS REQ'D]
- EXISTING PVC CONDENSATE DRAIN PIPING AT RTU TO REMAIN [REWORK IF REQUIRED BY PROPOSED WORK]. INSTALL NEW 1/4" PVC DRAIN PIPING FROM RTU TO ROOF DRAIN. PROVIDE AIR GAP KIT / INDIRECT DRAIN FITTING FROM EXISTING CONDENSATE DRAIN PIPING OVER NEW 1/4" PVC CONDENSATE PIPING THAT EXTENDS TO EXISTING ROOF DRAIN. DRAINS CAN BE TIED TOGETHER. INSTALL ON NEW SUPPORTS AT 10'-0" O.C. MAX.
- INSPECT AND PROVIDE ANY / ALL REQUIRED MAINTENANCE REPAIRS TO EXISTING TERMINATION BAR / BASE FLASHING / ROOF TERMINATION ALONG RAISED PARAPET WALLS THIS AREA.



ROOF PLAN
SCALE: 1/16" = 1'-0"

INSULATION ADHESIVE INSTALLATION PATTERN

- LIGHT WEIGHT INSULATING CONCRETE DECK:
- ZONE 1: 12" O.C. ADHESIVE BEADS
 - ZONE 2: 6" O.C. ADHESIVE BEADS
 - ZONE 3: 6" O.C. ADHESIVE BEADS

NOTE:
THE INDICATED ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

INSULATION MECHANICAL ATTACHMENT PATTERN

- METAL DECK:
- ZONE 1: 12 FASTENERS PER 4x8 BOARD
 - ZONE 2: 18 FASTENERS PER 4x8 BOARD
 - ZONE 3: 32 FASTENERS PER 4x8 BOARD

NOTE:
THE INDICATED ATTACHMENT RATES ARE THE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER AND FACTORY MUTUAL GLOBAL SYSTEM ASSEMBLY TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

WIND PRESSURE DESIGN NOTES:

- ENGINEERED DESIGN BASED UPON OHIO BUILDING CODE AND ASCE 7-05 WIND PRESSURES AND FACTORY MUTUAL GLOBAL REQUIREMENTS.
- COMPONENTS AND GLADDING:**
- WIND REGION: 40 MPH
 - BUILDING CONFIGURATION ENCLOSED.
 - EXPOSURE 'B'
 - IMPORTANCE CATEGORY: III
- DESIGN WIND LOADS (PRESSURE) IN ACCORDANCE WITH ASCE 7-05 AND FACTORY MUTUAL GLOBAL**
- | | |
|---------------------|---------|
| ZONE 1 (FIELD): | -16 PSF |
| ZONE 2 (PERIMETER): | -26 PSF |
| ZONE 3 (CORNERS): | -34 PSF |
- EDGE METAL DESIGN PRESSURES:**
- | | |
|------------|---------|
| HORIZONTAL | -18 PSF |
|------------|---------|

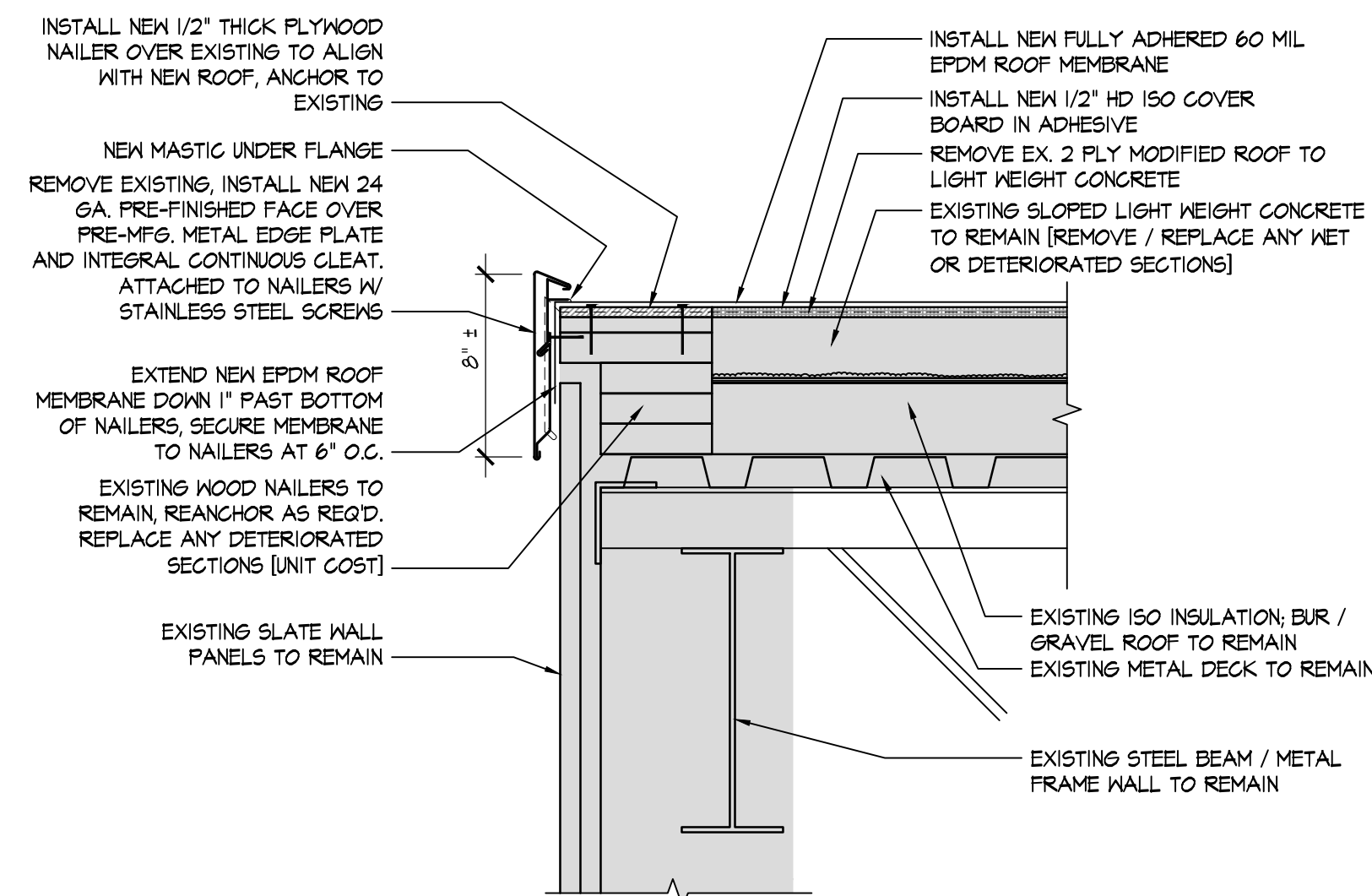
LEGEND NOTE: NOT ALL ITEMS MAY APPLY TO THIS PROJECT

- VENTS, VENT STACKS, EXHAUST, ROOF HATCH, AND ETC. (ALL REQUIRE NEW MEMBRANE BASE FLASHING)
- EXISTING ROOF DECK SLOPE DIRECTION
- ← SLOPE DIRECTION (NEW TAPERED INSULATION / TAPERED SADDLES)
- D-RD ○ EXISTING ROOF DRAINS TO BE REMOVED. GAP ASSOCIATED PIPING BELOW DECK AS APPLICABLE
- RD ○ EXISTING ROOF DRAINS
- RRD ○ REPLACE ROOF DRAIN IN EXISTING LOCATION SEE SPECS. FOR RETRO-FIT DRAINS AS APPLICABLE
- NRD ○ NEW PRIMARY ROOF DRAIN, CONNECT TO NEW DRAIN PIPING BELOW DECK
- O/F RD ○ EXISTING OVERFLOW ROOF DRAIN, COORDINATE COLLAR HEIGHT ABOVE ROOF SURFACE
- O/F NRD ○ NEW OVERFLOW ROOF DRAIN, CONNECT TO NEW DRAIN PIPING BELOW DECK, COORDINATE COLLAR HEIGHT ABOVE ROOF SURFACE
- THRU-WALL SCUPPER, CONDUCTOR HEAD, DOWNSPOUT - NEW/EXISTING/MODIFIED AS NOTED.
- DS O/F ○ THRU-WALL OVERFLOW SCUPPER - NEW/EXISTING/MODIFIED AS NOTED. COORDINATE HEIGHT ABOVE ROOF SURFACE.
- SH ○ PIPE SLEEVE / FLANGE AND RAIN CAP
- PP □ NEW PITCH POCKET
- DS □ DOWNSPOUT
- VP ○ VENT PIPE - BOOT TYPE PIPE FLASHING
- RB ○ RUBBER BOOT TYPE PIPE FLASHING
- EE □ NEW EQUIPMENT ENCLOSURE
- BV ○ BREATHER VENT

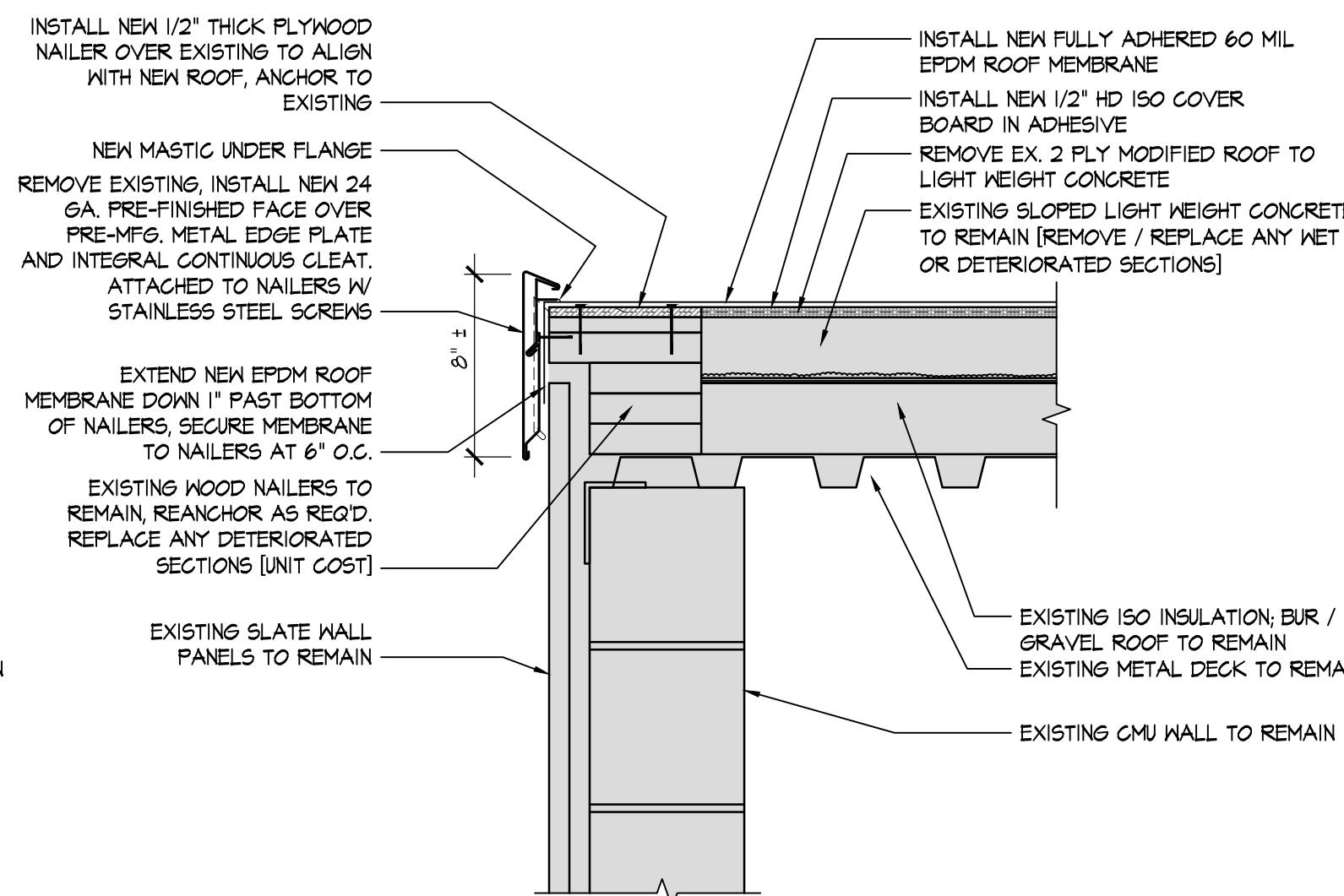
- INSTALL NEW ROOF DRAIN INSERTS AT ALL ROOF DRAINS. INSTALL ANY/ALL APPLICABLE COMPONENTS TO MAKE ROOF DRAINS FULLY OPERATIONAL.
- COORDINATE EXACT TYPE/PROFILE WITH EXISTING CONDITIONS.
- INSTALL NEW GRAVITY AIR INTAKE UNITS AND EXHAUST FANS SET ON EXISTING CURBS WHERE NOTED ON THE ROOF PLAN. SIZE TO FIT CURB, AS MANUFACTURED BY GREENHECK OR EQUAL. COORDINATE EXACT REQUIREMENTS WITH OWNER. PROVIDE CUT SHEETS / SUBMITTAL FOR APPROVAL.
- PREP AND PAINT GAS PIPING - COLOR TO BE DETERMINED BY OWNER.
- TURN OVER ANY SALVAGEABLE EQUIPMENT, SKYLIGHT DOMES, ETC. TO OWNER AT THEIR DIRECTION. COORDINATE ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. REMOVE ALL OTHER DEMOLITION ITEMS FROM THE JOBSITE.
- NOTE:** CONTRACTOR SHALL HAVE A WRITTEN SITE SPECIFIC SAFETY PLAN DEVELOPED FOR THE PROJECT. CONTRACTOR SHALL HAVE A SAFETY PERSONNEL / MONITOR ON THE PROJECT AT ALL TIMES.

Partial Roof Replacement 2016 at:
City of Moraine Municipal Building
 4200 Dryden Road
 Moraine, Ohio 45439
 PREPARED FOR THE CITY OF MORAIN

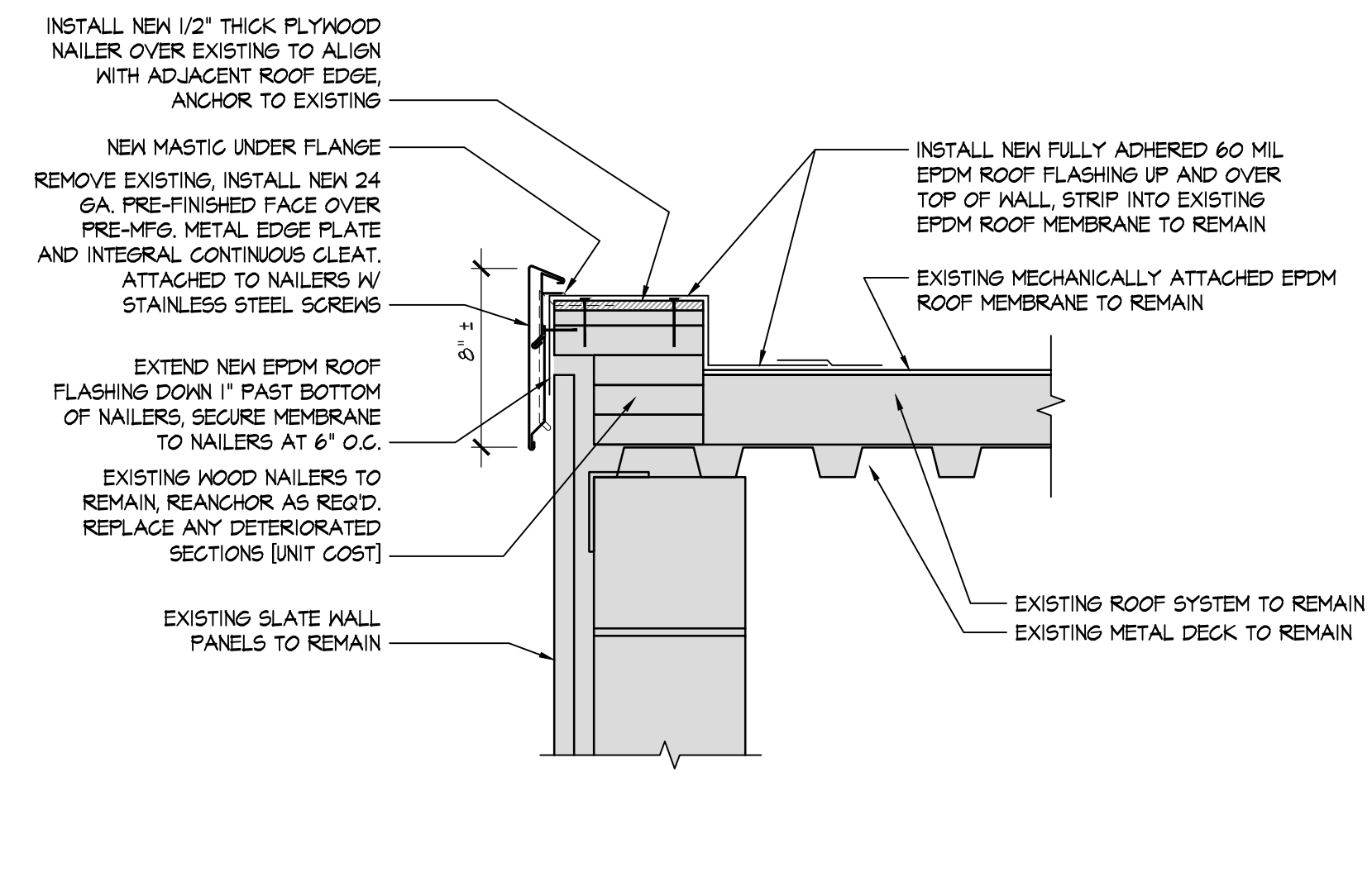
| |
|-----------------------------|
| Print Record |
| 08/08/16 REVIEW |
| 08/26/16 BID SET |
| Project Number |
| 2016-092 |
| Date |
| AUGUST 26, 2016 |
| Sheet Title |
| ROOF PLANS GENERAL NOTES |
| Sheet Number |



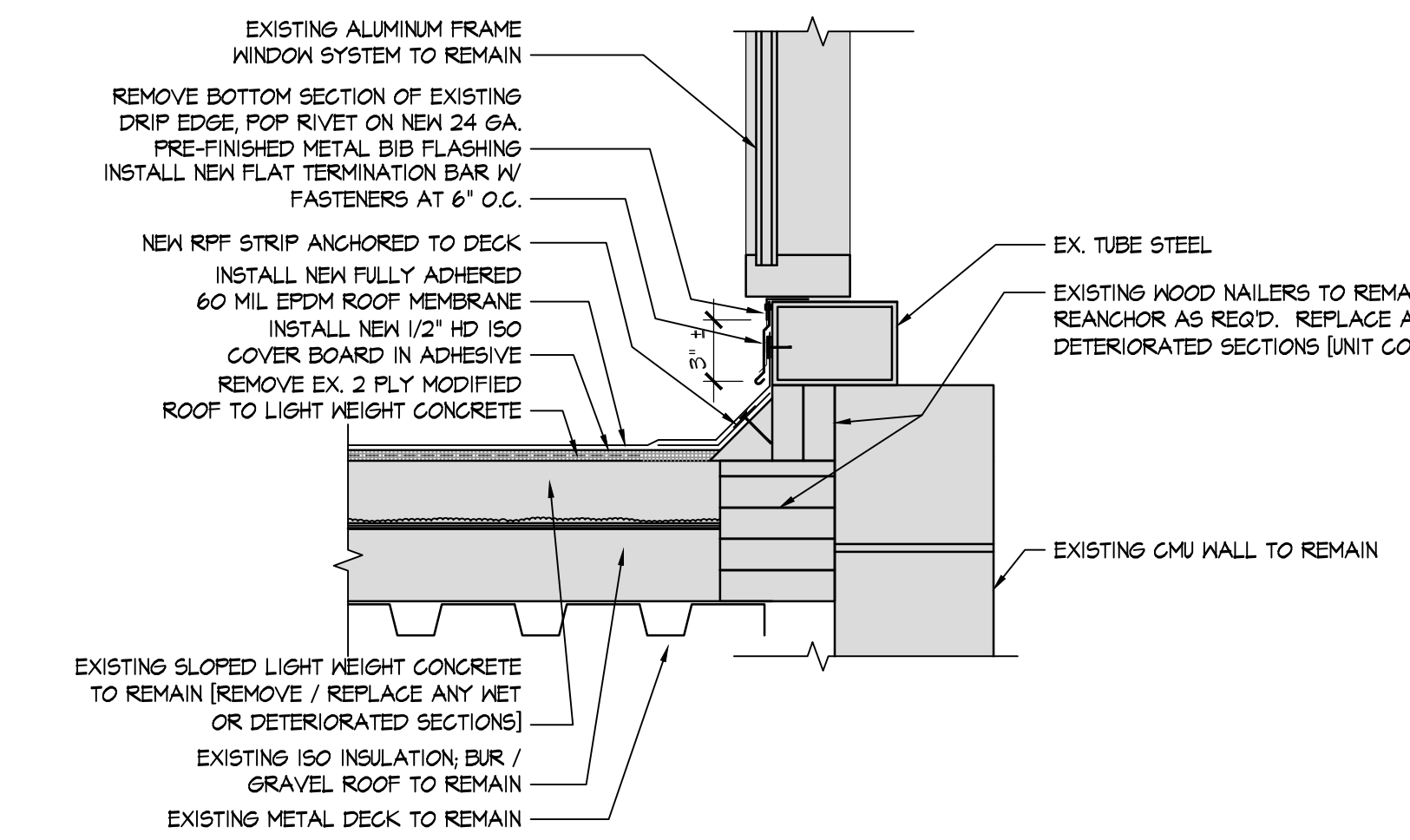
A **DETAIL**
 N.T.S.



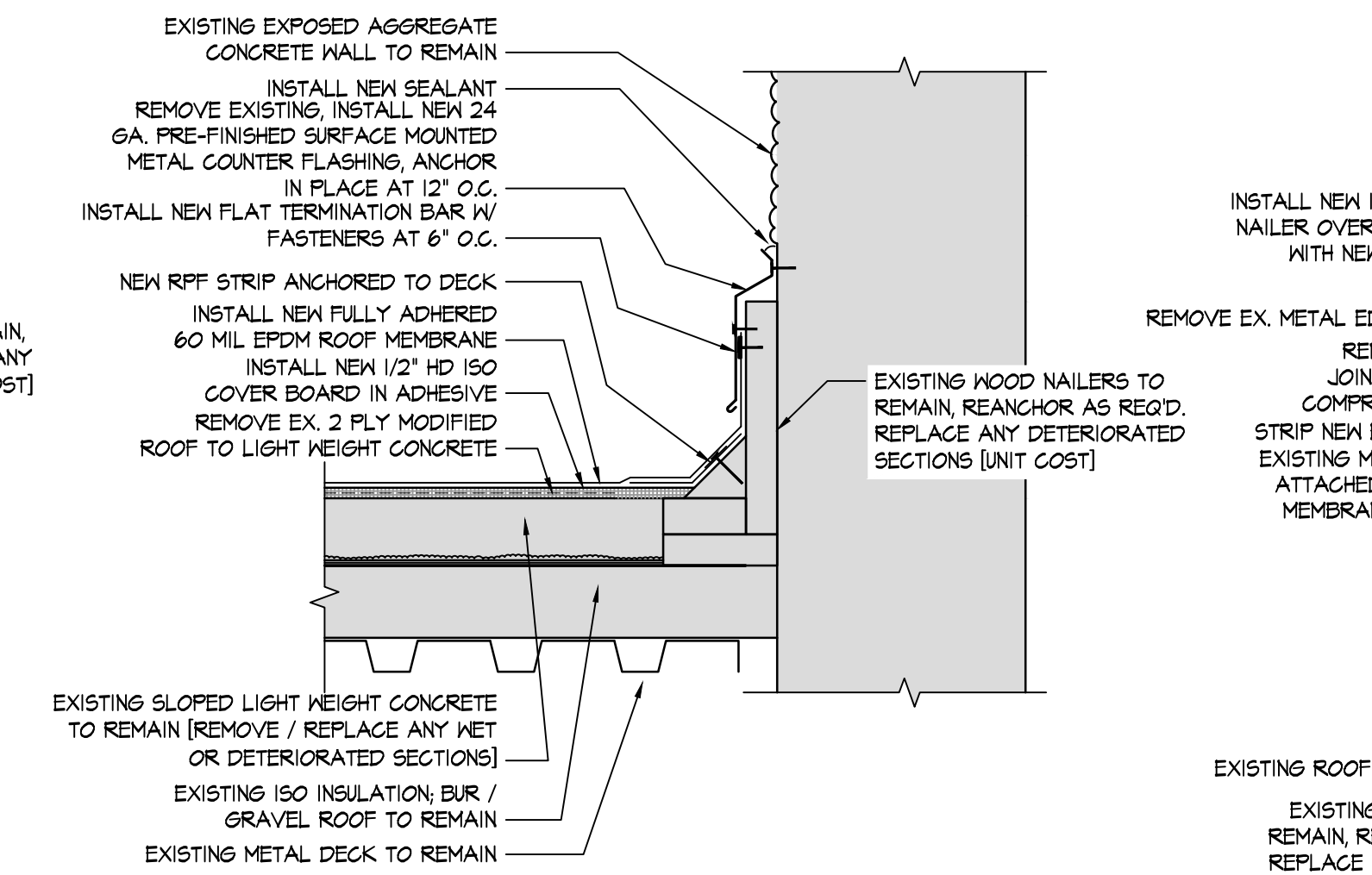
B **DETAIL**
 N.T.S.



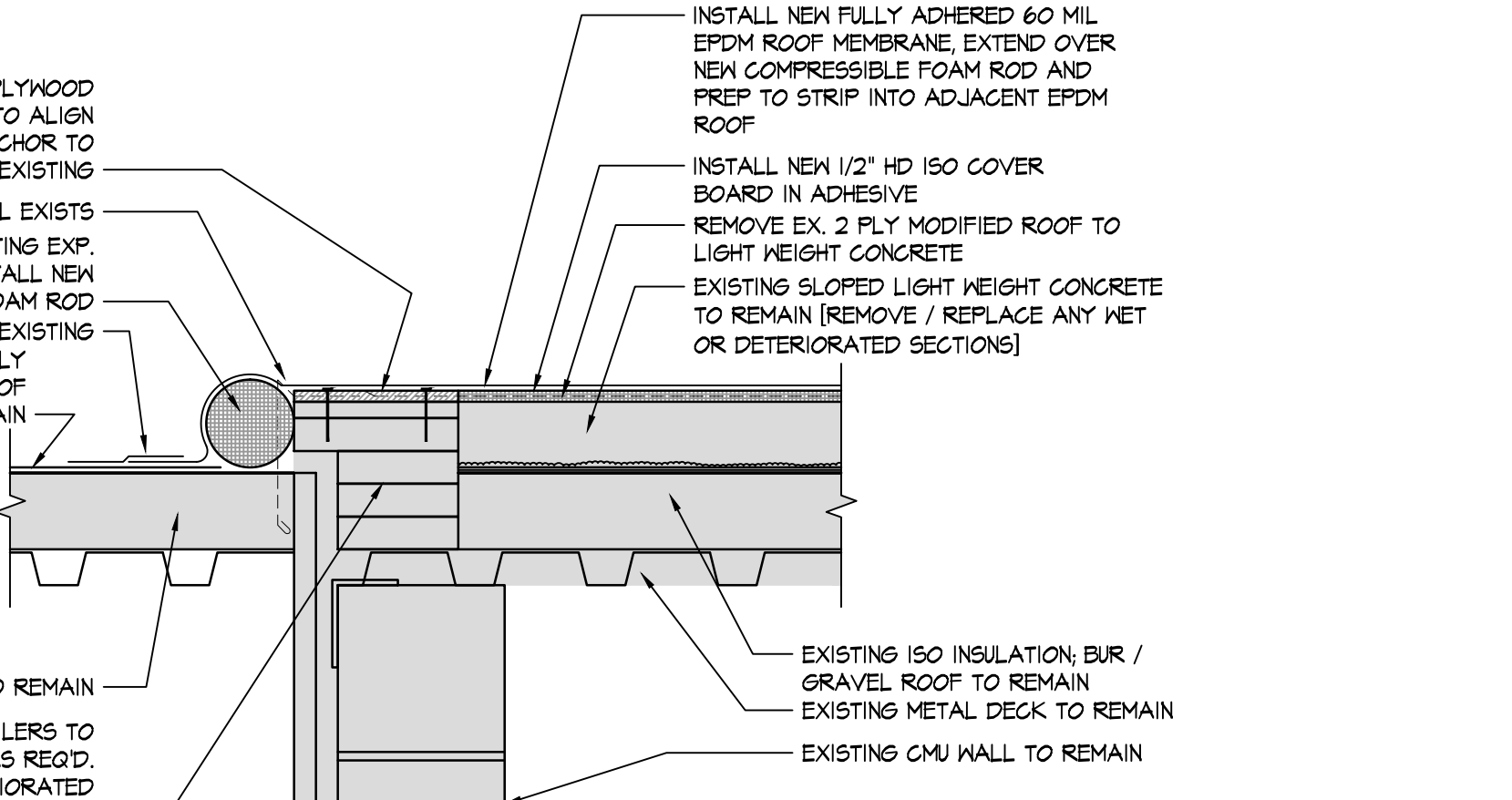
C **DETAIL**
 N.T.S.



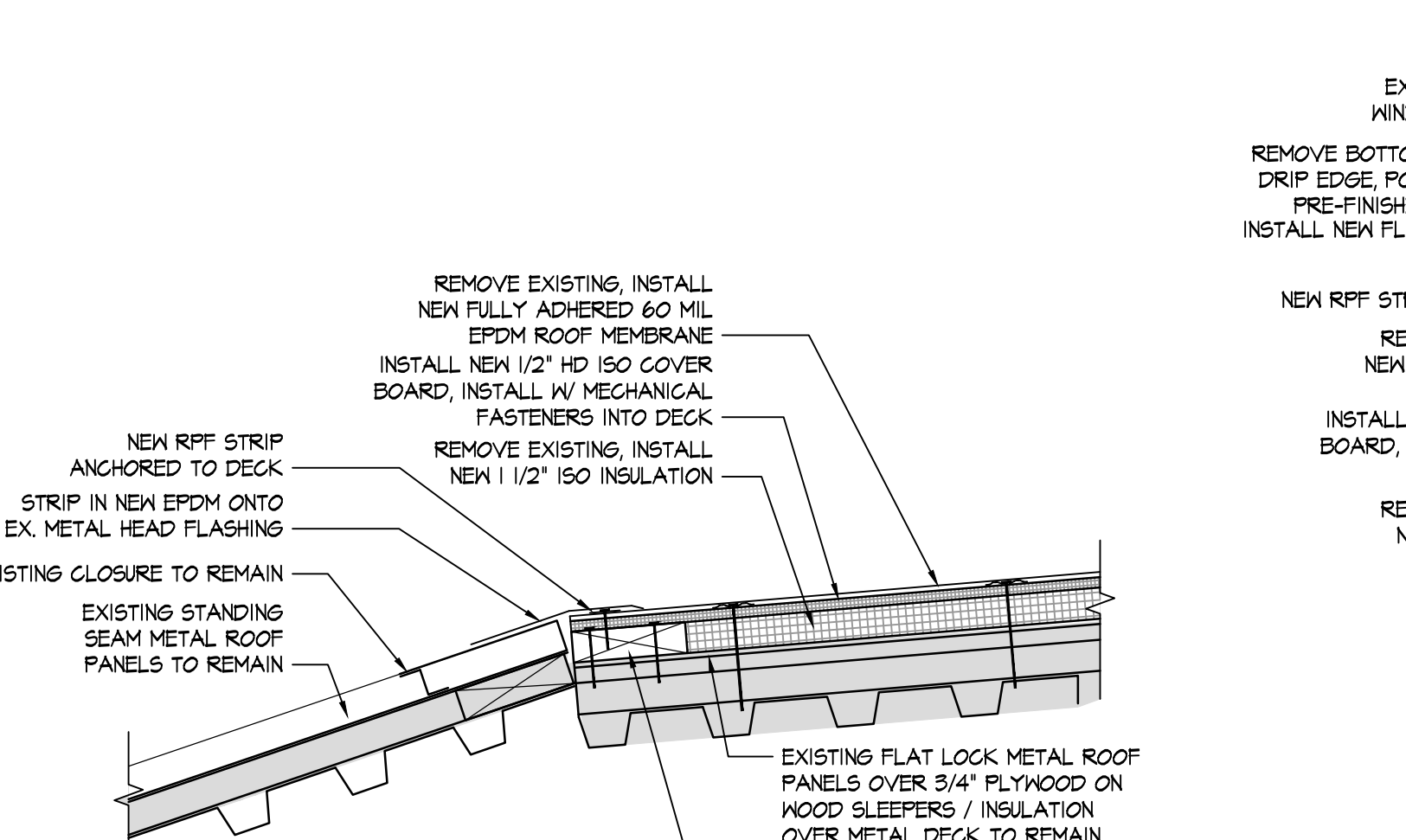
D **DETAIL**
 N.T.S.



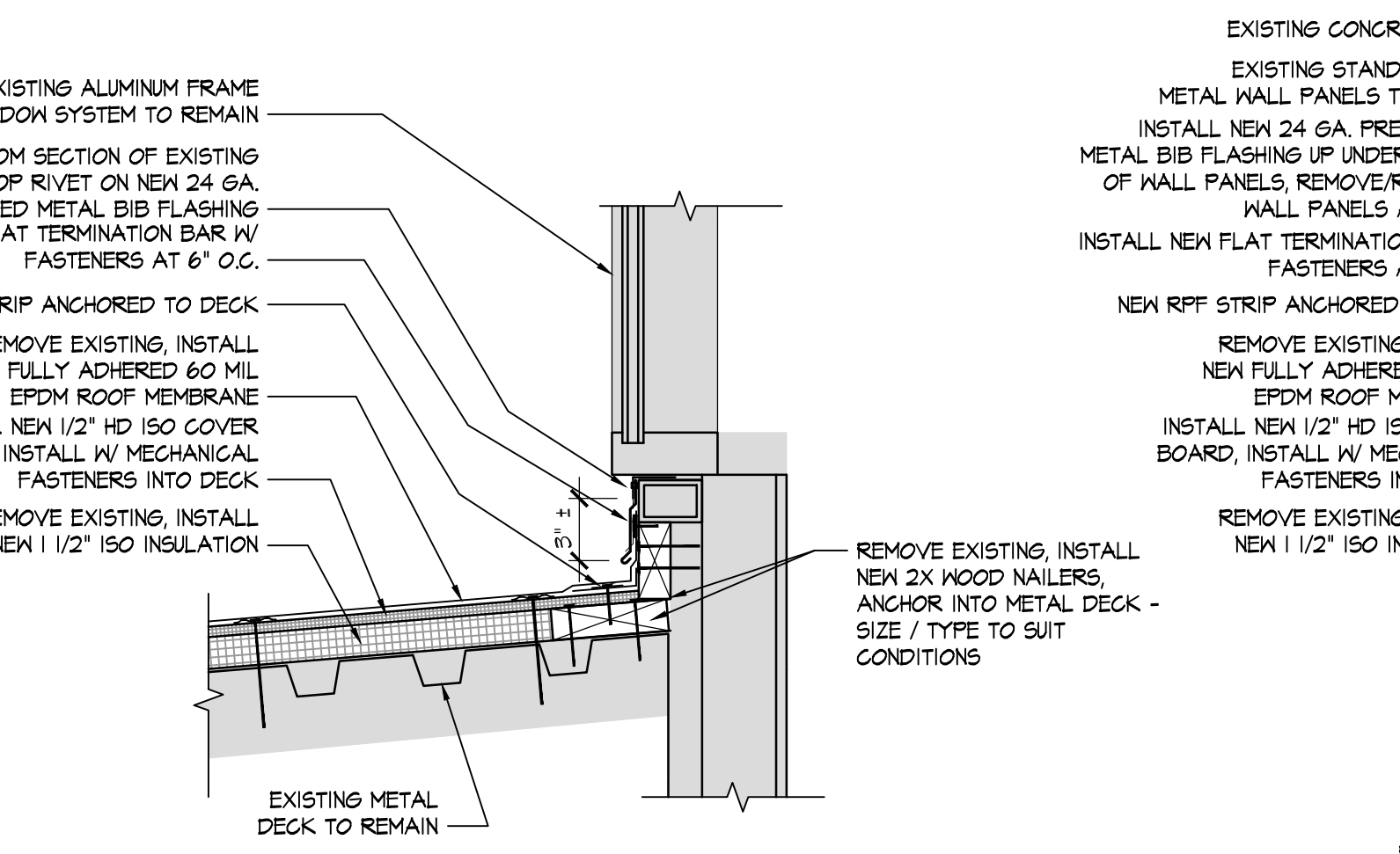
E **DETAIL**
 N.T.S.



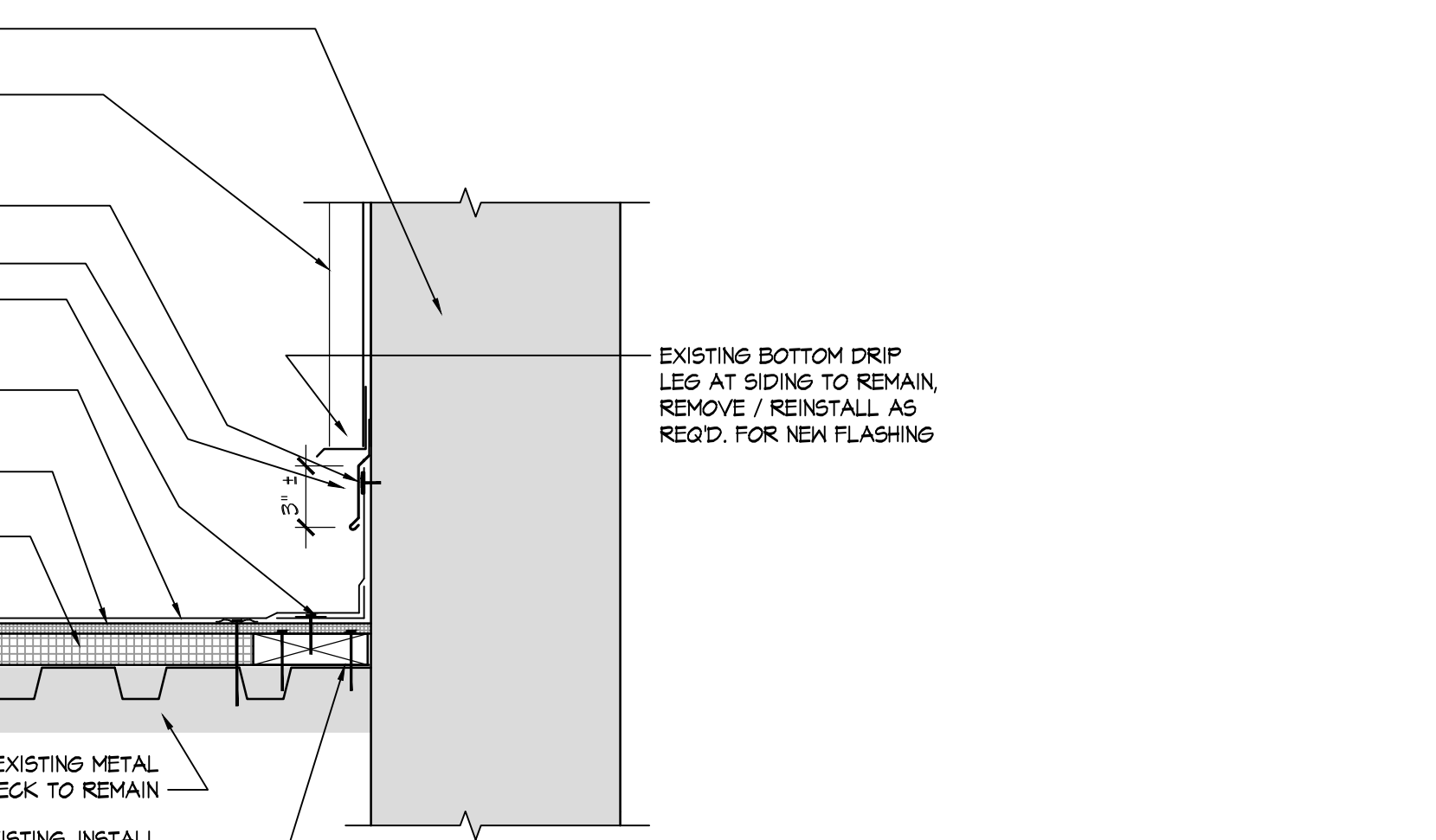
F **DETAIL**
 N.T.S.



G **DETAIL**
 N.T.S.



H **DETAIL**
 N.T.S.



I **DETAIL**
 N.T.S.

NOTE: FIELD VERIFY CONDITIONS, HEIGHTS, ETC. AT THIS DETAIL - COORDINATE EXISTING CONDITIONS W/ ARCHITECT PRIOR TO PROCEEDING

Partial Roof Replacement 2016 at:
City of Moraine Municipal Building
 4200 Dryden Road
 Moraine, Ohio 45439
 PREPARED FOR THE CITY OF MORAIN

| |
|------------------|
| Print Record |
| 08/08/16 REVIEW |
| 08/26/16 BID SET |
| Project Number |
| 2016-092 |
| Date |
| AUGUST 26, 2016 |
| Sheet Title |
| DETAILS |
| Sheet Number |