

City of Moraine

Payne Recreation Center
3800 Main Street

Gerhardt Civic Center
3050 Kreitzer Road

Maintenance Shop
3401 E. Venetian Way



Jonathan Robert SchAAF #14504
Expiration Date 12/31/2025

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OWNER

The City of Moraine
4200 Dryden Road
Moraine, Ohio 45439

DESIGN TEAM

ARCHITECT / ROOF CONSULTANT:



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RDA CONTRACT ADMINISTRATION

- RDA IS PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. CONTRACTOR AND CLIENT / OWNER ARE RESPONSIBLE TO COORDINATE THE PROPOSED WORK, SCHEDULES, INSTALLATIONS, PERMITS, INSPECTIONS, ETC.
- CONTACT ARCHITECT FOR CLARIFICATION SHOULD THERE BE QUESTIONS REGARDING THE INTERPRETATION OR INTENT OF THE DOCUMENTS, FIELD DISCOVERY, ETC. THAT WOULD IMPACT OR AFFECT THE WORK AS PROPOSED. RDA IS NOT LIABLE FOR DEVIATIONS, FIELD CHANGES, AND CLIENT / OWNER CHANGES DURING CONSTRUCTION.
- FIELD CONFIRM ALL EXISTING CONDITIONS, PROPOSED INSTALLATIONS AND HOW THEY INTERFACE TO ENSURE THE SYSTEMS CAN BE INSTALLED PER THE INTENT OF THE DOCUMENTS AND TO MEET APPLICABLE BUILDING AND ZONING CODES, LOCAL REQUIREMENTS, CLIENT / OWNER REQUIREMENTS, PROVIDE A WATER TIGHT DETAIL, MEET AESTHETIC REQUIREMENTS, ETC.
- MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS WHETHER SPECIFICALLY NOTED HEREIN OR NOT. BUILDING CODES REPRESENT THE MINIMUM ACCEPTABLE STANDARD.
- INSTALL ALL PRODUCTS, MATERIALS, INSTALLATIONS, AND THE LIKE IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS, APPLICABLE MANUFACTURER'S DETAILS AND INSTRUCTIONS, IN ACCORDANCE WITH BEST PRACTICES, AND BUILDING CODE PROVISIONS. THE MANUFACTURER DETAILS / REQUIREMENTS ARE THE MINIMUM ACCEPTABLE STANDARD, RDA DRAWINGS MAY REQUIRE ADDITIONAL WORK.

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN INSTRUCTION MANUAL TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY TRADES. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT, IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.

CODE REVIEW

PAYNE RECREATION CENTER

PROJECT DESCRIPTION:
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU WALL SCUPPERS AND EXTERNAL GUTTERS. NO SECONDARY ROOF DRAINAGE REQUIRED. NO CHANGES ARE PLANNED FOR EXISTING PRIMARY DRAINAGE SYSTEMS. ALL DRAINAGE SYSTEMS ARE PROPERLY SIZED.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF MORAIN
BUILDING PERMIT - CITY OF MORAIN

BUILDING CODE:

2024 OHIO EXISTING BUILDING CODE [OEB]C
2024 OHIO BUILDING CODE [OBC]
2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]

OHIO EXISTING BUILDING CODE

301.3.2: WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12]

602.2: ALTERATION - LEVEL 1 [REFER TO CH. 7]

705.1: REFER TO CHAPTER 15 OF OHIO BUILDING CODE
ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF 1/4" PER 12", FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY OVERFLOW] DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

OHIO BUILDING CODE

OBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
USE GROUP: A-3 COMMUNITY CENTER

OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
BUILDING AREA: EXISTING [NO CHANGE]
BUILDING HEIGHT: 2-STORY EXISTING [NO CHANGE]

OBC CHAPTER 6: TYPES OF CONSTRUCTION
CONSTRUCTION TYPE: II B
ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION:

STRUCTURE: TILT UP CONCRETE WALLS, STEEL STRUCTURE.
EXTERIOR WALLS: TILT UP CONCRETE WALLS
PARTITION WALLS: CMU
ROOF DECK: METAL DECK

OBC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES
TABLE 1505.1: FIRE CLASSIFICATION: II B CONSTRUCTION - MIN. CLASS C, ACTUAL CLASS A

INTERNATIONAL ENERGY CONSERVATION CODE

TABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD
INSULATION ABOVE ROOF DECK, CLIMATE ZONE 5 = R-30 CI
EXISTING = R-15.8
PROPOSED = R-30.2

C402.1.4.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE USED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION, THE SLOPED ROOF INSULATION R-VALUE CONTRIBUTION TO THAT CALCULATION TO USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER INCH.

C402.2.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER SHALL NOT BE LESS THAN 1".

C503.1: ALTERATIONS TO ANY BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF C503. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING WAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM, OR PORTION THEREOF SHALL CONFIRM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE.

C503.2.1: ROOF REPLACEMENT: COMPLY WITH C402.1.3, C402.1.4, C402.1.4.1, OR C402.1.4.1.1 WHERE THE EXISTING ROOF ASSEMBLY IS PART OF THE THERMAL ENVELOPE AND CONTAINS INSULATION ENTIRELY ABOVE THE ROOF DECK. IN NO CASE SHALL THE R-VALUE OF THE ROOF INSULATION BE REDUCED AS PART OF THE ROOF REPLACEMENT.

ROOF SYSTEM DESIGN WIND-LOAD ANALYSIS:

ENGINEERED DESIGN BASED UPON 2024 OHIO BUILDING CODE AND ASCE 7-16 WIND DESIGN UPLIFT PRESSURES [ASD].

COMPONENTS AND CLADDING:

BUILDING HEIGHT: 30'
BASIC WIND SPEED: 105 MPH
BUILDING CONFIGURATION: ENCLOSED.
EXPOSURE: 'C'
RISK CATEGORY: II

DESIGN WIND UPLIFT LOADS [ASD]

ZONE 1 [INTERIOR FIELD]: -15.3 PSF
ZONE 1 [EXTERIOR FIELD]: -26.5 PSF
ZONE 2 [PERIMETER]: -35.0 PSF
ZONE 3 [CORNERS]: -47.7 PSF

DESIGN UPLIFT-RESISTANCE CAPACITY

[FACTOR OF SAFETY OF 2, FROM [ASD] INDICATED ABOVE]
ZONE 1 [INTERIOR FIELD]: -30.6 PSF
ZONE 1 [EXTERIOR FIELD]: -53.1 PSF
ZONE 2 [PERIMETER]: -70.1 PSF
ZONE 3 [CORNERS]: -95.4 PSF

NAILER ATTACHMENT: ANSIS/SPRIFM-4435ES-1 SEE SPECIFICATIONS

METAL COPING / EDGE:

SEE SPECIFICATIONS
DESIGN WIND-RESISTANCE CAPACITY
ZONE 2 [PERIMETER, VERTICAL]: -70.1 PSF
ZONE 3 [CORNERS, VERTICAL]: -95.4 PSF
ZONE 4 [PERIMETER, HORIZONTAL]: -36.1 PSF
ZONE 5 [CORNERS, HORIZONTAL]: -44.7 PSF

GERHARDT CIVIC CENTER

PROJECT DESCRIPTION:
THIS PROJECT INCLUDES ROOF RECOVER INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU INTERNAL ROOF DRAINS. NO SECONDARY ROOF DRAINAGE EXISTS. THE ROOF CONTAINS SECTIONS OF OPEN PERIMETER WITH NO PARAPET WHICH ALLOWS FOR SECONDARY ROOF DRAINAGE, SO ADDITIONAL SECONDARY ROOF DRAINAGE IS REQUIRED. NO CHANGES ARE PLANNED FOR EXISTING PRIMARY DRAINAGE SYSTEMS. ALL DRAINAGE SYSTEMS ARE PROPERLY SIZED.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF MORAIN
BUILDING PERMIT - CITY OF MORAIN

BUILDING CODE:

2024 OHIO EXISTING BUILDING CODE [OEB]C
2024 OHIO BUILDING CODE [OBC]
2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]

OHIO EXISTING BUILDING CODE

301.3.2: WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12]

602.2: ALTERATION - LEVEL 1 [REFER TO CH. 7]

705.1: REFER TO CHAPTER 15 OF OHIO BUILDING CODE
ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF 1/4" PER 12", FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY OVERFLOW] DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

705.2.1: ROOF RECOVER - INSTALL IN ACCORDANCE WITH MFG. APPROVED INSTALLATION

OHIO BUILDING CODE

OBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
USE GROUP: A-3 COMMUNITY CENTER

OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
BUILDING AREA: EXISTING [NO CHANGE]
BUILDING HEIGHT: 1-STORY EXISTING [NO CHANGE]

OBC CHAPTER 6: TYPES OF CONSTRUCTION
CONSTRUCTION TYPE: II B
ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION:

STRUCTURE: LOAD BEARING MASONRY WALLS, STEEL STRUCTURE.
EXTERIOR WALLS: LOAD BEARING MASONRY WALLS
PARTITION WALLS: CMU
ROOF DECK: METAL DECK

OBC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES
TABLE 1505.1: FIRE CLASSIFICATION: II B CONSTRUCTION - MIN. CLASS C, ACTUAL CLASS A

INTERNATIONAL ENERGY CONSERVATION CODE

TABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD
INSULATION ABOVE ROOF DECK, CLIMATE ZONE 5 = R-30 CI
EXISTING = R-21
PROPOSED = R-30.4 [AVERAGE R]

C402.1.4.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE USED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION, THE SLOPED ROOF INSULATION R-VALUE CONTRIBUTION TO THAT CALCULATION TO USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER INCH.

C402.2.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER SHALL NOT BE LESS THAN 1".

C503.1: ALTERATIONS TO ANY BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF C503. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING WAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM, OR PORTION THEREOF SHALL CONFIRM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE.

EXCEPTION 4: ROOF RECOVER
ROOF SYSTEM DESIGN WIND-LOAD ANALYSIS:
ENGINEERED DESIGN BASED UPON 2024 OHIO BUILDING CODE AND ASCE 7-16 WIND DESIGN UPLIFT PRESSURES [ASD].

COMPONENTS AND CLADDING:

BUILDING HEIGHT: 15'
BASIC WIND SPEED: 105 MPH
BUILDING CONFIGURATION: ENCLOSED.
EXPOSURE: 'C'
RISK CATEGORY: II

DESIGN WIND UPLIFT LOADS [ASD]

ZONE 1 [INTERIOR FIELD]: -13.2 PSF
ZONE 1 [EXTERIOR FIELD]: -22.9 PSF
ZONE 2 [PERIMETER]: -30.3 PSF
ZONE 3 [CORNERS]: -41.2 PSF

DESIGN UPLIFT-RESISTANCE CAPACITY

[FACTOR OF SAFETY OF 2, FROM [ASD] INDICATED ABOVE]
ZONE 1 [INTERIOR FIELD]: -26.5 PSF
ZONE 1 [EXTERIOR FIELD]: -45.9 PSF
ZONE 2 [PERIMETER]: -60.5 PSF
ZONE 3 [CORNERS]: -82.5 PSF

NAILER ATTACHMENT: ANSIS/SPRIFM-4435ES-1 SEE SPECIFICATIONS

METAL COPING / EDGE:

SEE SPECIFICATIONS
DESIGN WIND-RESISTANCE CAPACITY
ZONE 2 [PERIMETER, VERTICAL]: -60.5 PSF
ZONE 3 [CORNERS, VERTICAL]: -82.5 PSF
ZONE 4 [PERIMETER, HORIZONTAL]: -31.2 PSF
ZONE 5 [CORNERS, HORIZONTAL]: -38.6 PSF

MAINTENANCE SHOP

PROJECT DESCRIPTION:
THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

PRIMARY ROOF DRAINAGE IS ACCOMPLISHED BY THRU INTERNAL ROOF DRAINS. NO SECONDARY ROOF DRAINAGE EXISTS. NO CHANGES ARE PLANNED FOR EXISTING PRIMARY DRAINAGE SYSTEMS. ALL DRAINAGE SYSTEMS ARE PROPERLY SIZED.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF MORAIN
BUILDING PERMIT - CITY OF MORAIN

BUILDING CODE:

2024 OHIO EXISTING BUILDING CODE [OEB]C
2024 OHIO BUILDING CODE [OBC]
2021 INTERNATIONAL ENERGY CONSERVATION CODE [IECC 2021]

OHIO EXISTING BUILDING CODE

301.3.2: WORK AREA COMPLIANCE METHOD [REFER TO 302-309 AND CH. 6-12]

602.2: ALTERATION - LEVEL 1 [REFER TO CH. 7]

705.1: REFER TO CHAPTER 15 OF OHIO BUILDING CODE
ROOF REPLACEMENT OR ROOF RECOVER OF EXISTING LOW SLOPE ROOF COVERINGS SHALL NOT BE REQUIRED TO MEET MINIMUM DESIGN SLOPE OF 1/4" PER 12", FOR ROOFS WHICH PROVIDE POSITIVE DRAINAGE.

RECOVERING OR REPLACING AN EXISTING ROOF COVERING SHALL NOT BE REQUIRED TO MEET THE REQUIREMENT FOR SECONDARY [EMERGENCY OVERFLOW] DRAINS OR SCUPPERS FOR ROOFS WHICH PROVIDE FOR POSITIVE ROOF DRAINAGE. EXISTING SECONDARY DRAINS OR SCUPPERS SHALL NOT BE REMOVED.

OHIO BUILDING CODE

OBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
USE GROUP: B / S-1 - OFFICES / SHOP

OBC CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
BUILDING AREA: EXISTING [NO CHANGE]
BUILDING HEIGHT: 1-STORY EXISTING [NO CHANGE]

OBC CHAPTER 6: TYPES OF CONSTRUCTION
CONSTRUCTION TYPE: II B
ROOF CONSTRUCTION = 0 HOUR RATED

EXISTING BUILDING CONSTRUCTION:

STRUCTURE: LOAD BEARING MASONRY WALLS, STEEL STRUCTURE.
EXTERIOR WALLS: LOAD BEARING MASONRY WALLS
PARTITION WALLS: CMU
ROOF DECK: METAL DECK

OBC CHAPTER 15: ROOFTOP ASSEMBLIES AND ROOFTOP STRUCTURES
TABLE 1505.1: FIRE CLASSIFICATION: II B CONSTRUCTION - MIN. CLASS C, ACTUAL CLASS A

INTERNATIONAL ENERGY CONSERVATION CODE

TABLE C402.1.3: THERMAL ENVELOPE INSULATION R-VALUE METHOD
INSULATION ABOVE ROOF DECK, CLIMATE ZONE 5 = R-30 CI
EXISTING = R-21
PROPOSED = R-30.4 [AVERAGE R]

C402.1.4.1.1: TAPERED, ABOVE DECK INSULATION BASED ON THICKNESS: WHERE USED AS A COMPONENT OF MAXIMUM ROOF ASSEMBLY U-FACTOR CALCULATION, THE SLOPED ROOF INSULATION R-VALUE CONTRIBUTION TO THAT CALCULATION TO USE THE AVERAGE THICKNESS IN INCHES ALONG WITH THE MATERIAL R-VALUE PER INCH.

C402.2.1.2: MINIMUM THICKNESS: THE MINIMUM THICKNESS OF ABOVE DECK ROOF INSULATION AT ITS LOWEST POINT, GUTTER EDGE, ROOF DRAIN, OR SCUPPER SHALL NOT BE LESS THAN 1".

C503.1: ALTERATIONS TO ANY BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF C503. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING WAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM, OR PORTION THEREOF SHALL CONFIRM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE.

C503.2.1: ROOF REPLACEMENT: COMPLY WITH C402.1.3, C402.1.4, C402.1.4.1, OR C402.1.4.1.1 WHERE THE EXISTING ROOF ASSEMBLY IS PART OF THE THERMAL ENVELOPE AND CONTAINS INSULATION ENTIRELY ABOVE THE ROOF DECK. IN NO CASE SHALL THE R-VALUE OF THE ROOF INSULATION BE REDUCED AS PART OF THE ROOF REPLACEMENT.

ROOF SYSTEM DESIGN WIND-LOAD ANALYSIS:

ENGINEERED DESIGN BASED UPON 2024 OHIO BUILDING CODE AND ASCE 7-16 WIND DESIGN UPLIFT PRESSURES [ASD].

COMPONENTS AND CLADDING:

BUILDING HEIGHT: 20'
BASIC WIND SPEED: 105 MPH
BUILDING CONFIGURATION: ENCLOSED.
EXPOSURE: 'C'
RISK CATEGORY: II

DESIGN WIND UPLIFT LOADS [ASD]

ZONE 1 [INTERIOR FIELD]: -14.1 PSF
ZONE 1 [EXTERIOR FIELD]: -24.5 PSF
ZONE 2 [PERIMETER]: -32.3 PSF
ZONE 3 [CORNERS]: -44.0 PSF

DESIGN UPLIFT-RESISTANCE CAPACITY

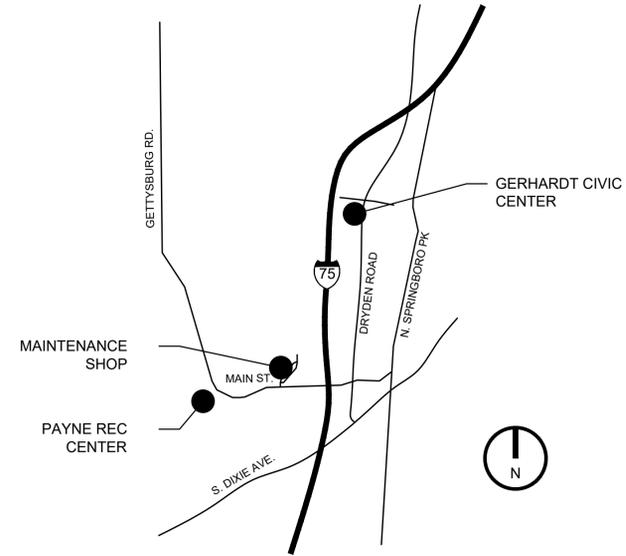
[FACTOR OF SAFETY OF 2, FROM [ASD] INDICATED ABOVE]
ZONE 1 [INTERIOR FIELD]: -28.2 PSF
ZONE 1 [EXTERIOR FIELD]: -49.0 PSF
ZONE 2 [PERIMETER]: -64.6 PSF
ZONE 3 [CORNERS]: -87.9 PSF

NAILER ATTACHMENT: ANSIS/SPRIFM-4435ES-1 SEE SPECIFICATIONS

METAL COPING / EDGE:

SEE SPECIFICATIONS
DESIGN WIND-RESISTANCE CAPACITY
ZONE 2 [PERIMETER, VERTICAL]: -64.6 PSF
ZONE 3 [CORNERS, VERTICAL]: -87.9 PSF
ZONE 4 [PERIMETER, HORIZONTAL]: -33.3 PSF
ZONE 5 [CORNERS, HORIZONTAL]: -41.2 PSF

VICINITY MAP



ABBREVIATIONS

+	DEGREES	FD	FLOOR DRAIN	R / RAD	RADIUS
±	PLUS OR MINUS	FDN	FOUNDATION	RA	RETURN AIR
≠	NOT EQUAL	FE	FIRE EXTINGUISHER	RB	RUBBER BASE
∅	DIAMETER	FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
∠	ANGLE	FF	FINISH FLOOR	REF	REFRIGERATOR
↖	CENTERLINE	FIN	FINISH / FINISHED	REINF	REINFORCE
†	PROPERTY LINE	FRT	FIRE RETARDANT TREATED	REQD	REQUIRED
		FSE	FOOD SERVICE EQUIPMENT	REQMT	REQUIREMENT(S)
ABV	ABOVE	FTG	FOOTING	REV	REVISION
ADA	ACCESSIBLE / HANDICAP ACCESSIBILITY / ACCESSIBILITY -	FTV	FIELD VERIFY	RO	ROUGH OPENING
		GA	GAUGE	R/W	RIGHT OF WAY
AFF	ABOVE FINISH FLOOR	GALV	GALVANIZED	SALV	SALVAGED
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	SF	SQUARE FEET
ALUM	ALUMINUM	GYP	GYPSPUM	SM	SIMILAR
APPROX	APPROXIMATE	GYP BD	GYPSPUM BOARD	SM	SHEET METAL
ATC	ACOUSTIC TILE CEILING			SPEC	SPECIFICATION
		HB	HOSE BIBB	SQ	SQUARE
BET/BETWN	BETWEEN	HM	HOLLOW METAL	SS	STAINLESS STEEL
BLKG	BLOCKING	HOR	HORIZONTAL	STD	STANDARD
BRG	BEARING	HT	HEIGHT	STL	STEEL
BSTM	BASEMENT	HVAC	HEATING, VENTILATION, AIR CONDITIONING	T	TEMPERED
BTM	BOTTOM			TBD	TO BE DETERMINED
CIP	CAST IN PLACE	INT	INTERIOR	T&B	TOP AND BOTTOM
CJ	CONTROL JOINT	JL	JUNCTION BOX	T&G	TONGUE AND GROOVE
CLR	CLEAR	JB	JUNCTION BOX	T.O.	TOP OF
CLG	CEILING	LL	LIVE LOAD	TR	TREATED
CLG	CEILING	LL	LIVE LOAD	TR	TYRICAL
CMU	CONCRETE MASONRY UNIT	LLH	LONG LEG HORIZONTAL	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARD
COL	COLUMN	LLV	LONG LEG VERTICAL	UNO	UNLESS NOTED OTHERWISE
CONC	CONCRETE	LT	LINTEL	UL	UNDERWRITER'S LABORATORY
CONT	CONTINUOUS			MAX	MAXIMUM
CPT	CARPET	MECH	MECHANICAL	MFR	MANUFACTURER
CT	CERAMIC TILE	MIN	MINIMUM	MIS	MISCELLANEOUS
DEMO	DEMOLISH / DEMOLITION	MSC	MASONRY OPENING	W/	WITH
DF	DRINKING FOUNTAIN	MS	METAL STUD	W/O	WITHOUT
DIA	DIAMETER	MT	MOUNTED	WOD	WOOD
DIM	DIM				



Jonathan Robert SchAAF #14503
Expiration Date 12/31/2025

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RDA GROUP ARCHITECTS
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Roof Replacements 2024:
City of Moraine
Payne Recreation Center
Gerhardt Civic Center
Maintenance Shop

Project Number	2022-156
Date	March 29, 2024
Date	Issue
02.12.24	Review Set
03.25.24	Review Set
03.29.24	Bid / Construction Set

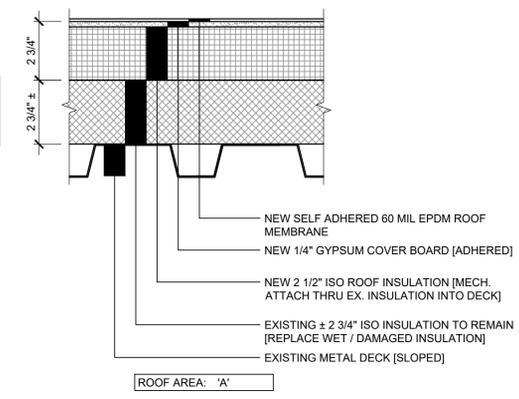
Sheet Title
Payne Rec Center
Roof Matrix / Roof Plans

Sheet Number

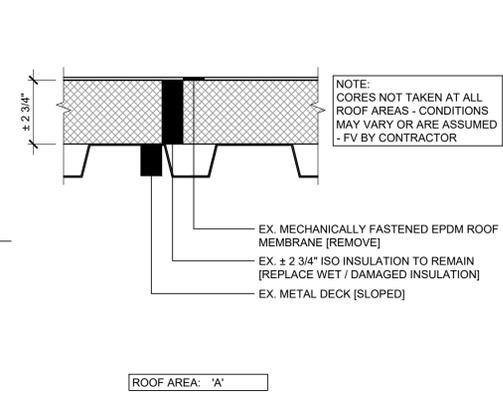
A1.1

- # KEY NOTES**
- REMOVE EXISTING SCREEN WALL COMPLETE INCLUDING METAL PANELS, LIGHT GAUGE METAL FRAMING STRUCTURE, STEEL STRUCTURE, ETC. REMOVE / CUT OFF EXISTING PIPE COLUMNS BELOW ROOF SURFACE.
 - REMOVE EXISTING PAD MOUNTED RTU COMPLETE. REMOVE PAD AND ANY ANCILLARY ITEMS. ELECTRIC WILL BE DISCONNECTED BY OWNER.
 - REMOVE EXISTING TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS.
 - REMOVE EXISTING GUTTER AND DOWNSPOUTS THIS LOCATION.
 - REMOVE EXISTING CONCRETE PAVERS COMPLETE, TYPICAL FOR ALL PAVERS AT ALL AREAS OF THE ROOF.
 - REMOVE EXISTING ABANDONED IN PLACE HVAC DUCTWORK. PERMANENTLY CAP OFF DUCT AT MAIN TRUNK DUCT TO REMAIN. FIELD VERIFY DETAILS.
 - INSTALL NEW TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS.
 - INSTALL LEVELING FILL / TAPERED INSULATION AT EXISTING LOW AREA IN ROOF DECK. PROVIDE POSITIVE DRAINAGE FROM THIS AREA. FIELD VERIFY CONDITIONS AS APPLICABLE.
 - INSTALL NEW 24 GA. PRE-FINISHED METAL GUTTER AND DOWNSPOUTS.
 - EXISTING GAS PIPING TO REMAIN. RAISE PIPING / MODIFY PIPING AS REQ'D BY NEW ROOF SYSTEM THICKNESS. DO NOT ALLOW UNINTENDED PRESSURE DEVELOP ON PIPING FROM TWISTING / RAISING OF PIPING. PREP AND PAINT EXISTING PIPING. INSTALL NEW PRE-MFG. SUPPORTS AT 8'-0" O.C. OVER SACRIFICIAL SHEET.
 - COPING AT RADIUS PARAPET - FABRICATE INTO ± 8'-0" LONG LENGTHS / SEGMENTS. FIELD COORDINATE DIMENSIONS / REQUIREMENTS.
 - PAINT DUCTWORK AT THIS PENETRATION.
 - EXISTING HVAC DUCTWORK IS INSTALLED TIGHT TO STEP IN ROOF HEIGHT. INSTALL 24 GA. PRE-FINISHED METAL SKIRT FLASHING BEHIND DUCTWORK AND OVER NEW EPDM BASE FLASHING. TERMINATE BASE FLASHING TIGHT AROUND DUCTWORK. FIELD VERIFY EXACT CONDITIONS.
 - TURN COPING DOWN AT END OF PARAPET.
 - TURN COPING UP AT STEP IN ROOF HEIGHT. TERMINATE UP UNDER COPING ABOVE.
 - TURN COPING UP / FLASH UP UNDER UPPER SECTION OF COPING AT ROOF HEIGHT TRANSITION.
 - EXISTING RAIL CURBS TO REMAIN. INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING.
 - EXISTING STEEL LEGS SUPPORTING HVAC DUCTWORK TO REMAIN. ADJUST HEIGHT / MODIFY HEIGHT AS REQ'D FOR NEW ROOF SYSTEM THICKNESS. REMOVE EXISTING, INSTALL NEW TREATED 4x4 x 12" LONG WOOD BLOCK UNDER LEG. INSTALL SACRIFICIAL SHEET UNDER WOOD BLOCK. ALT. TO WOOD BLOCK - PRE-CAST CONCRETE PAVER.
 - EXISTING LEGS SUPPORTING HVAC EQUIPMENT ABOVE TO REMAIN. ADJUST HEIGHT / MODIFY HEIGHT OF UNISTRUT LEGS AS REQUIRED FOR NEW ROOF SYSTEM THICKNESS. REMOVE AND REINSTALL EXISTING PRE-CAST CONCRETE PAVER. INSTALL SACRIFICIAL SHEET UNDER PRE-CAST CONCRETE PAVER.
 - INSTALL 4'-0" WIDE, 1/4" PER FOOT TAPERED INSULATION ALONG GUTTER EDGE.
 - FIELD WRAP / FLASH GAS PIPING PENETRATION THRU ROOF.

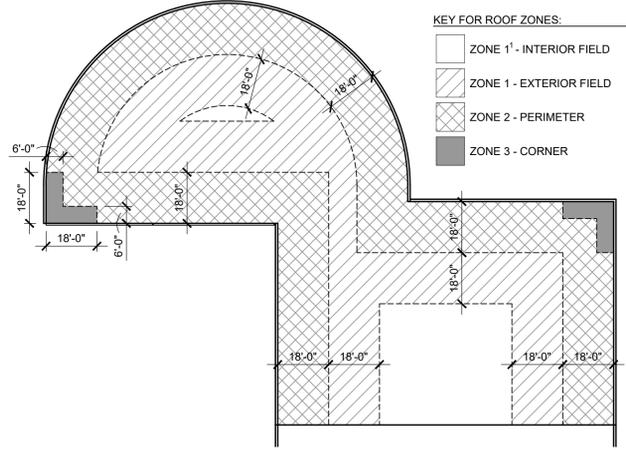
- GENERAL NOTES**
- VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
 - INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW EXISTING CONDITIONS.
 - AT ALL EXISTING CURBS, ROOFTOP UNITS, ETC., LIFT EXISTING UNIT OFF OF CURB TO ALLOW FLASHING UP AND OVER CURB. PROVIDE BLOCKING AS NECESSARY TO RAISE THE CURB ABOVE THE NEW ROOF SURFACE PER MFG. REQUIREMENTS. INSTALL NEW FASTENERS TO RE-SECURE UNIT BACK IN PLACE UPON COMPLETION OF WORK (MIN. OF 2 PER SIDE). IF UNIT CANNOT BE LIFTED OFF OF CURB, INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB.
 - VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
 - REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING, TYP. ALL AREAS.
 - ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
 - INSTALL 1/4" GYPSUM / DENSDECK OR 1/2" HIGH DENSITY POLYISO COVER BOARD OVER FACE OF EXISTING PARAPET WALLS AND ROOF-WALL TRANSITIONS IF CONDITIONS DO NOT PERMIT APPLICATION OF NEW BASE FLASHING UP FACE OF WALL. THIS WILL BE ADDRESSED VIA FIELD CHANGE IF REQUIRED.
 - INSTALL TAPERED INSULATION SADDLES BEHIND ALL CURBS / PENETRATIONS OVER 24" WIDE. NOTE: THESE ARE NOT INDICATED ON ROOF PLAN.
 - INSTALL WALKWAY PADS AROUND ALL ROOF HATCHES, ALL ROOFTOP UNITS, SERVICE LOCATIONS OF UNITS / EQUIPMENT, AND OTHER AREAS REQ'D BY THE ROOF MEMBRANE MFG. REFER TO ROOF PLAN.
 - VERIFY CONDITION OF EXISTING ROOF INSULATION AFTER REMOVAL OF EXISTING EPDM ROOF MEMBRANE. REMOVE AND REPLACE INSULATION FOUND TO BE WET, DETEIORATED, OR DAMAGED WITH NEW INSULATION IN LIKE KIND / MATCHING THICKNESS TO THE EXISTING CONDITIONS. INCLUDE IN BID AMOUNT AN ALLOWANCE FOR 2,000 SF OF REPLACEMENT OF EXISTING INSULATION.
 - MODIFY / RAISE EXISTING GAS PIPING, INCLUDING ALL REQUIRED ELBOWS, TRANSITIONS, CONNECTIONS, AND DIRT LEGS, AS REQ'D TO ACCOMMODATE NEW ROOF SYSTEM THICKNESS.



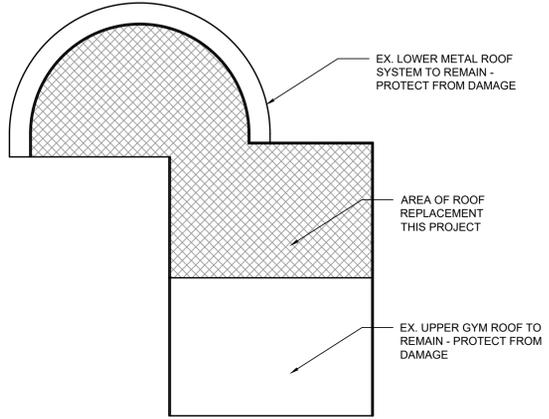
F PROPOSED ROOF MATRIX
SCALE: N.T.S.



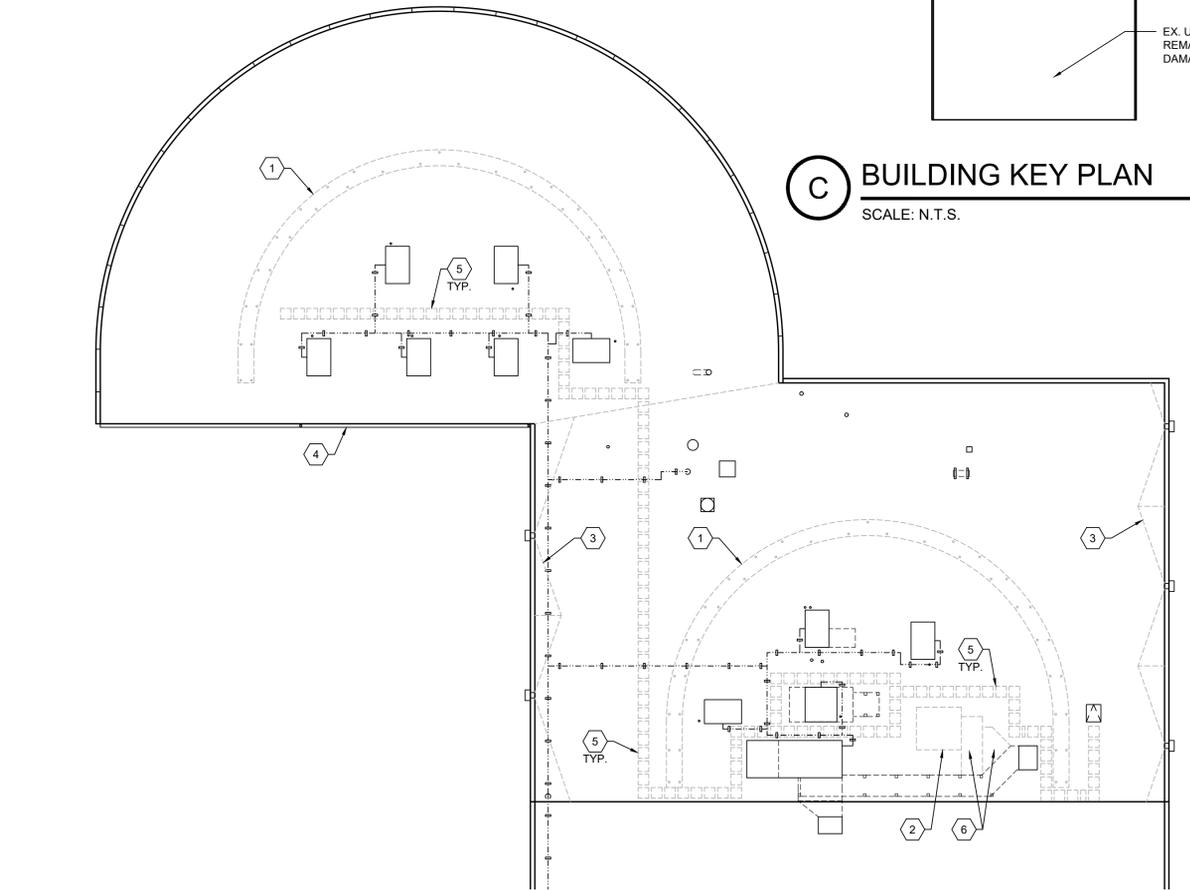
E EXISTING ROOF MATRIX
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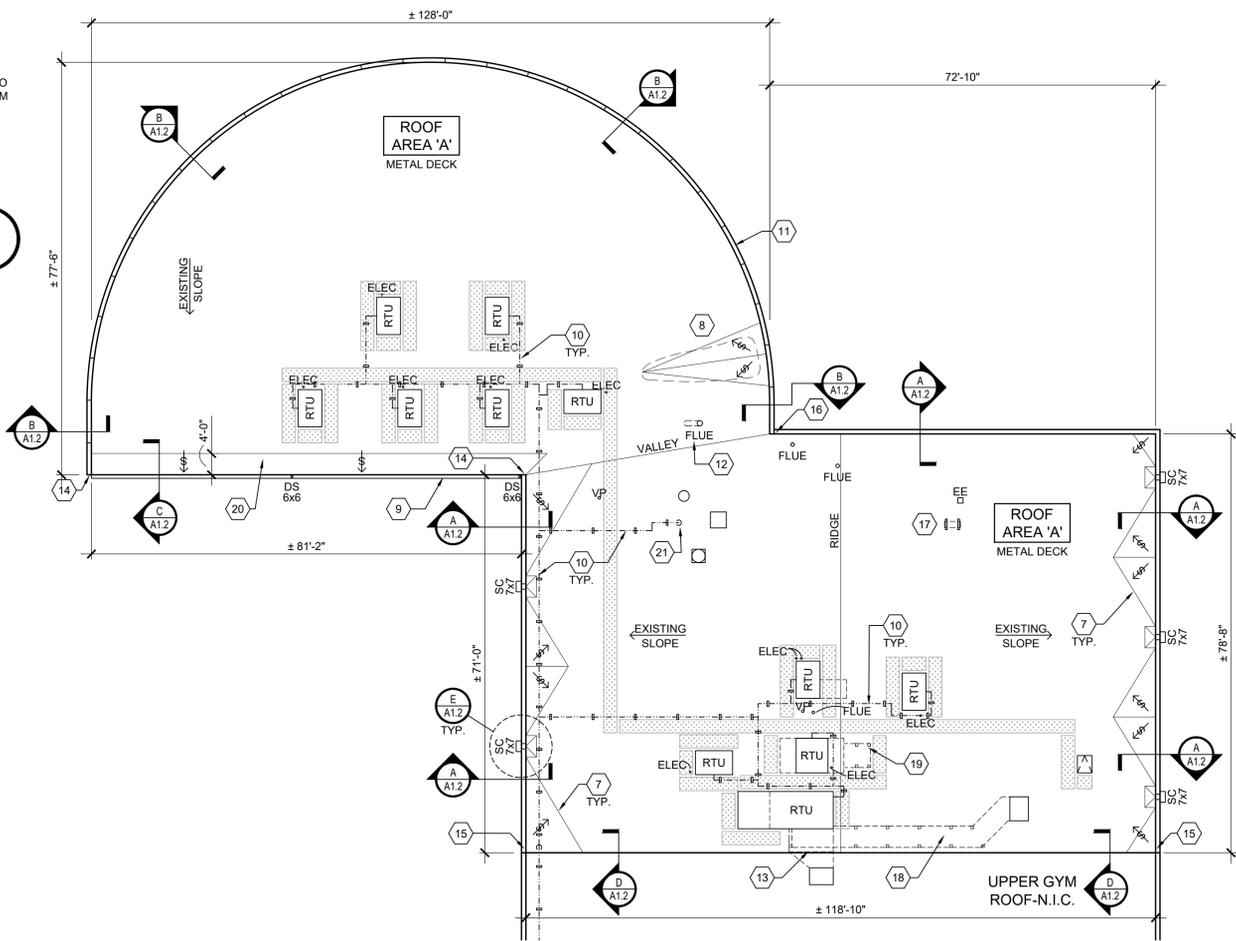
D OVERALL ROOF PLAN INDICATING INCREASED SECUREMENT REQ'MTS.
SCALE: 1" = 30'-0"



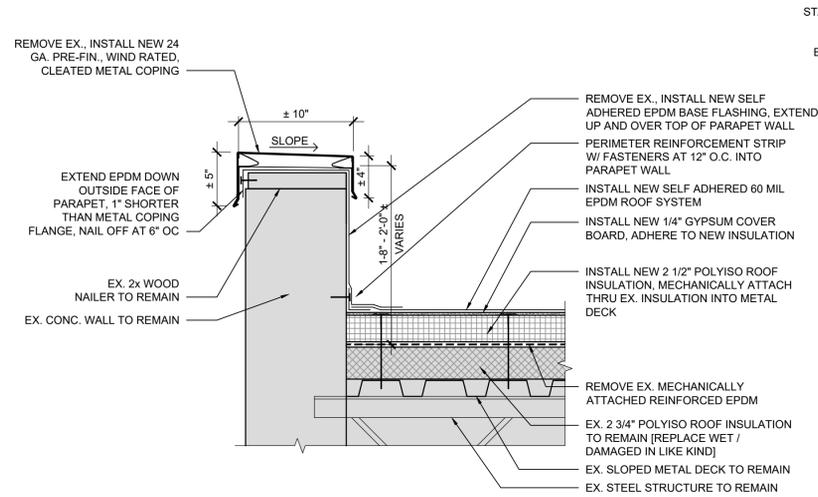
C BUILDING KEY PLAN
SCALE: N.T.S.



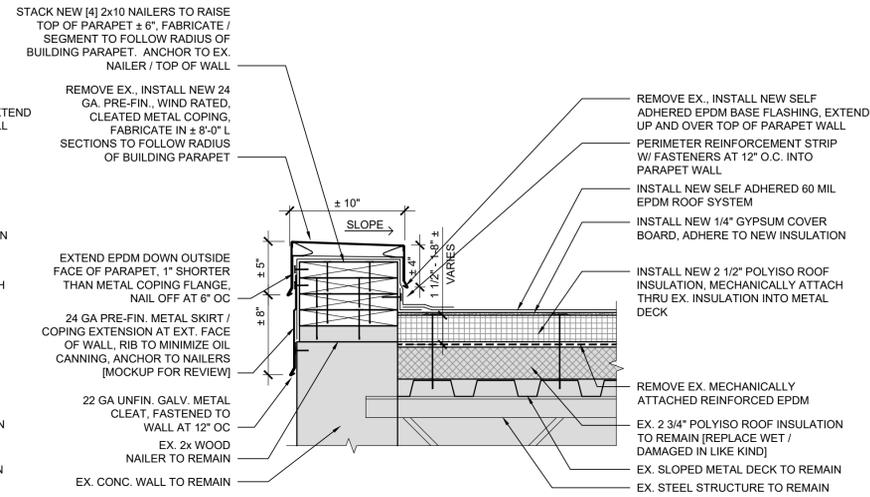
A EXISTING / DEMOLITION ROOF PLAN
SCALE: 1/16" = 1'-0"



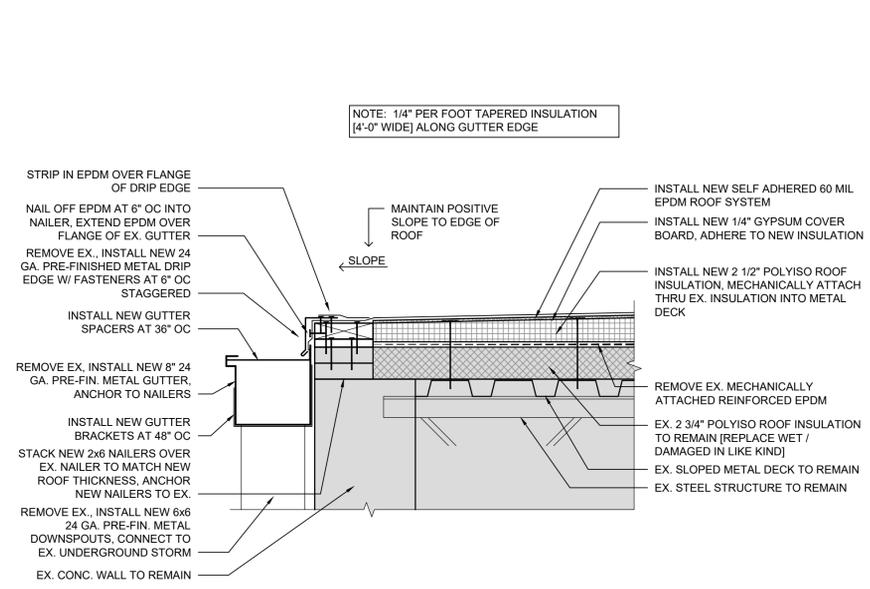
B PROPOSED ROOF PLAN
SCALE: 1/16" = 1'-0"



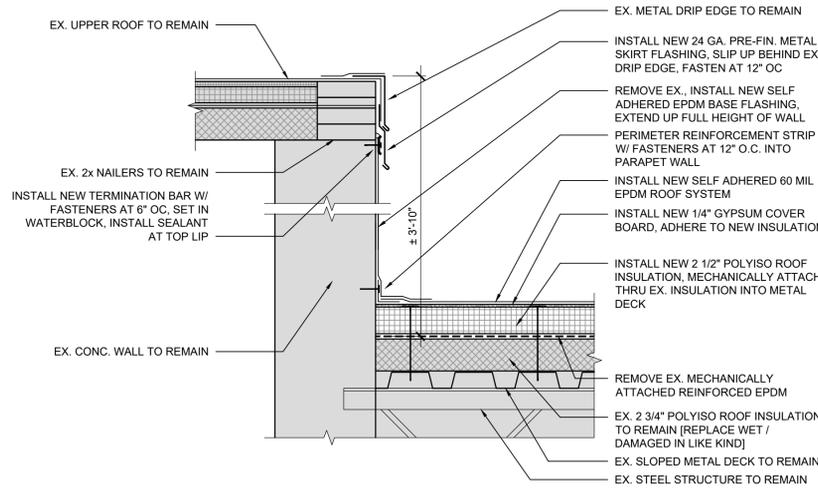
A DETAIL
SCALE: 1 1/2" = 1'-0"
0 3" 6" 12"



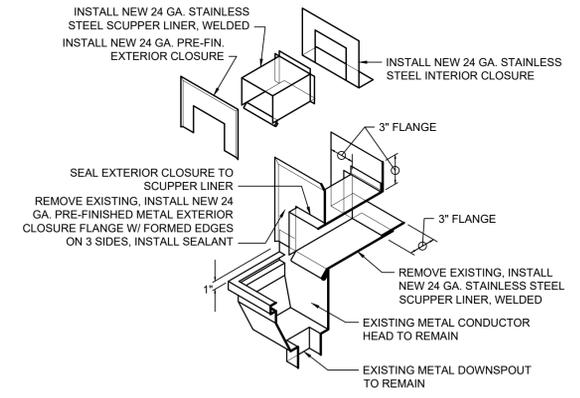
B DETAIL
SCALE: 1 1/2" = 1'-0"
0 3" 6" 12"



C DETAIL
SCALE: 1 1/2" = 1'-0"
0 3" 6" 12"



D DETAIL
SCALE: 1 1/2" = 1'-0"
0 3" 6" 12"



E TYP. PRIMARY SCUPPER
SCALE: N.T.S.



Jonathan Robert SchAAF #14503
Expiration Date 12/31/2025
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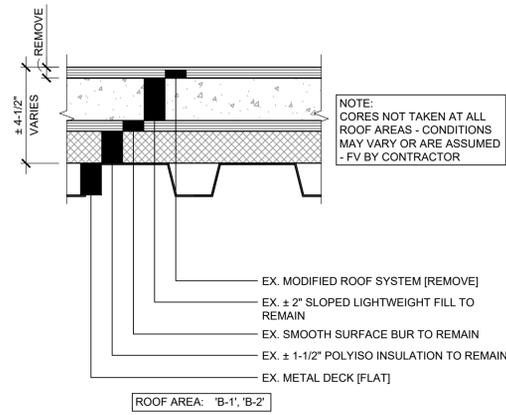


Roof Replacements 2024:
City of Moraine
Payne Recreation Center
Gerhardt Civic Center
Maintenance Shop

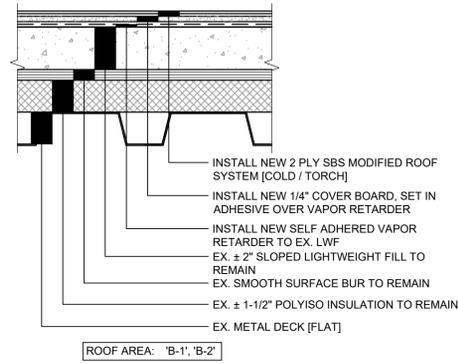
Project Number	
2022-156	
Date	
March 29, 2024	
Date	Issue
02.12.24	Review Set
03.25.24	Review Set
03.29.24	Bid / Construction Set

Sheet Title
Payne Rec Center
Details

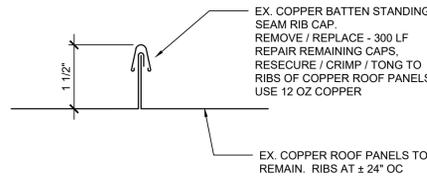
Sheet Number
A1.2



B EXISTING ROOF MATRIX
SCALE: N.T.S.



C PROPOSED ROOF MATRIX
SCALE: N.T.S.



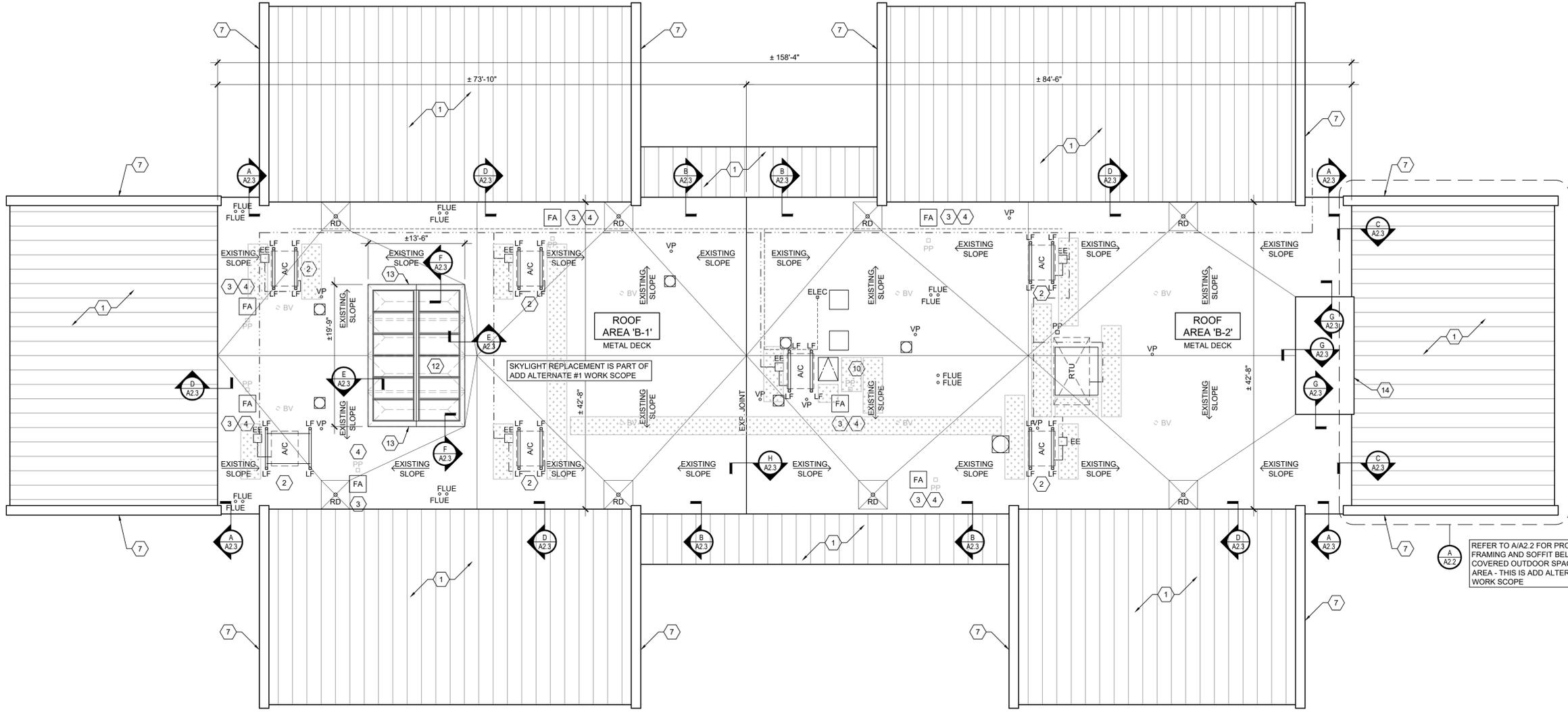
D COPPER BATTEN STANDING SEAM RIB CAP
SCALE: N.T.S.

GENERAL NOTES

- VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
- INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW EXISTING CONDITIONS.
- AT ALL EXISTING CURBS, ROOFTOP UNITS, ETC., LIFT EXISTING UNIT OFF OF CURB TO ALLOW FLASHING UP AND OVER CURB. PROVIDE BLOCKING AS NECESSARY TO RAISE THE CURB ABOVE THE NEW ROOF SURFACE PER MFG. REQUIREMENTS. INSTALL NEW FASTENERS TO RE-SECURE UNIT BACK IN PLACE UPON COMPLETION OF WORK (MIN. OF 2 PER SIDE). IF UNIT CANNOT BE LIFTED OFF OF CURB, INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB.
- VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
- REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING, EDGES, TYP. ALL AREAS
- ALL EXPOSED TO VIEW JOINT SEALANTS SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
- INSTALL 1/4" GYPSUM / DENSDECK OR 1/2" HIGH DENSITY POLYISO COVER BOARD OVER FACE OF EXISTING PARAPET WALLS AND ROOF-WALL TRANSITIONS IF CONDITIONS DO NOT PERMIT APPLICATION OF NEW BASE FLASHING UP FACE OF WALL. THIS WILL BE ADDRESSED VIA FIELD CHANGE IF REQUIRED.
- INSTALL WALKWAY PADS AROUND ALL ROOF HATCHES, ALL ROOFTOP UNITS, SERVICE LOCATIONS OF UNITS / EQUIPMENT, AND OTHER AREAS REQ'D BY THE ROOF MEMBRANE MFG. REFER TO ROOF PLAN.
- VERIFY CONDITION OF EXISTING LIGHTWEIGHT FILL [LWF] AFTER REMOVAL OF EXISTING MODIFIED ROOF SYSTEM. TAKE CARE DURING REMOVAL TO NOT DAMAGE EXISTING LWF. REMOVE EXISTING LWF FOUND TO BE WET OR DAMAGED WITH NEW IN LIKE KIND, MATCHING EXISTING PROFILES / SLOPES. THICKNESS OF EXISTING LWF VARIES. INCLUDE IN BID AMOUNT AN ALLOWANCE FOR 500 SF OF REPLACEMENT OF EXISTING LWF.

KEY NOTES

- EXISTING STANDING SEAM COPPER ROOF SYSTEM TO REMAIN. PROTECT FROM DAMAGE. PROVIDE IN BASE BID MAINTENANCE OF THE STANDING SEAM COPPER ROOF AS FOLLOWS: REPLACE 300 LF OF EXISTING BATTEN STANDING SEAM RIB CAPS WITH NEW COPPER RIB CAPS. ANTICIPATE MULTIPLE LOCATIONS OF REPLACEMENT WITH A MINIMUM OF 4 FOOT LONG SECTION PER LOCATION. FIELD VERIFY EXISTING CONDITIONS OF ALL REMAINING RIBS AND RE-CRIMP / TONG BATTEN STANDING SEAM RIB CAPS TO RE-ENGAGE THEM TO THE RIBS, AND ENSURE THEY ARE NOT LOOSE FROM THE RIBS. TYPICAL FOR ALL ROOF AREAS. WORK INCLUDES VERTICAL FACE OF PANELS AS WELL AS SLOPED ROOF.
- DISCONNECT EX. A/C UNIT AND LIFT OFF RAIL CURBS TO ALLOW INSTALLATION OF NEW ROOF SYSTEM. RESET, ANCHOR IN PLACE TO RAIL CURBS, AND RECONNECT ALL UTILITIES. COORDINATE SHUT DOWNS W/ OWNER.
- REMOVE EXISTING MOTORIZED EXHAUST FAN FROM EXISTING CURB. REMOVE EXISTING ASSOCIATED ELECTRICAL BRANCH CIRCUITRY TO THE APPLICABLE J-BOX OR TERMINATION [COORD. W/ OWNER]. INSTALL NEW GREENHECK GRSI GRAVITY VENT ON EXISTING CURB, F.V. CONDITIONS AND MAKE ANY ADAPTATIONS AS REQ'D TO FACILITATE WORK. EXISTING CURBS ARE ± 28" SQUARE.
- REMOVE EXISTING PENETRATION POCKET AS APPLICABLE TO REMOVAL OF MOTORIZED EXHAUST FAN
- INSTALL NEW TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS
- EXISTING GAS PIPING TO REMAIN. RAISE PIPING / MODIFY PIPING AS REQ'D BY NEW ROOF SYSTEM THICKNESS. DO NOT ALLOW UNINTENDED PRESSURE DEVELOP ON PIPING FROM TWISTING / RAISING OF PIPING. PREP AND PAINT EXISTING PIPING. INSTALL NEW PRE-MFG. SUPPORTS AT 8'-0" O.C. OVER SACRIFICIAL SHEET.
- EXISTING COPPER COPING TO REMAIN. PROTECT FROM DAMAGE.
- EXISTING RAIL CURBS TO REMAIN. INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING.
- EXISTING LEGS SUPPORTING HVAC DUCTWORK TO REMAIN. ADJUST HEIGHT / MODIFY AS REQ'D FOR NEW ROOF SYSTEM THICKNESS. INSTALL NEW 4x4 TREATED FEET WITH SACRIFICIAL SHEET UNDER.
- REMOVE EXISTING, INSTALL NEW ROOF ACCESS HATCH AT EXISTING OPENING.
- FIELD WRAP / FLASH GAS PIPING PENETRATION THRU ROOF.
- BASE BID: REMOVE AND REINSTALL EXISTING SKYLIGHT SYSTEM AS REQUIRED TO INSTALL NEW ROOF SYSTEM. ADD ALTERNATE #1: REMOVE EXISTING, INSTALL NEW SKYLIGHT SYSTEM. REFER TO DETAILS FOR ADDITIONAL SCOPE.
- ADD ALTERNATE #1: FRAME NEW END WALL TO MATCH PROFILE OF NEW SKYLIGHT SYSTEM. REFER TO DETAILS.
- EXISTING MASONRY CHIMNEY. PREP AND APPLY PRIMER AND COATING SYSTEM TO ALL FACES OF MASONRY CHIMNEY. REFER TO SPECS.



A PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

REFER TO A/A2.2 FOR PROPOSED FRAMING AND SOFFIT BELOW COVERED OUTDOOR SPACE THIS AREA - THIS IS ADD ALTERNATE #2 WORK SCOPE

Roof Replacements 2024:
City of Moraine
Payne Recreation Center
Gerhardt Civic Center
Maintenance Shop

Project Number	2022-156
Date	March 29, 2024
Date	Issue
02.12.24	Review Set
03.25.24	Review Set
03.29.24	Bid / Construction Set

Sheet Title
Gerhardt Civic Center
Roof Matrix / Roof Plans

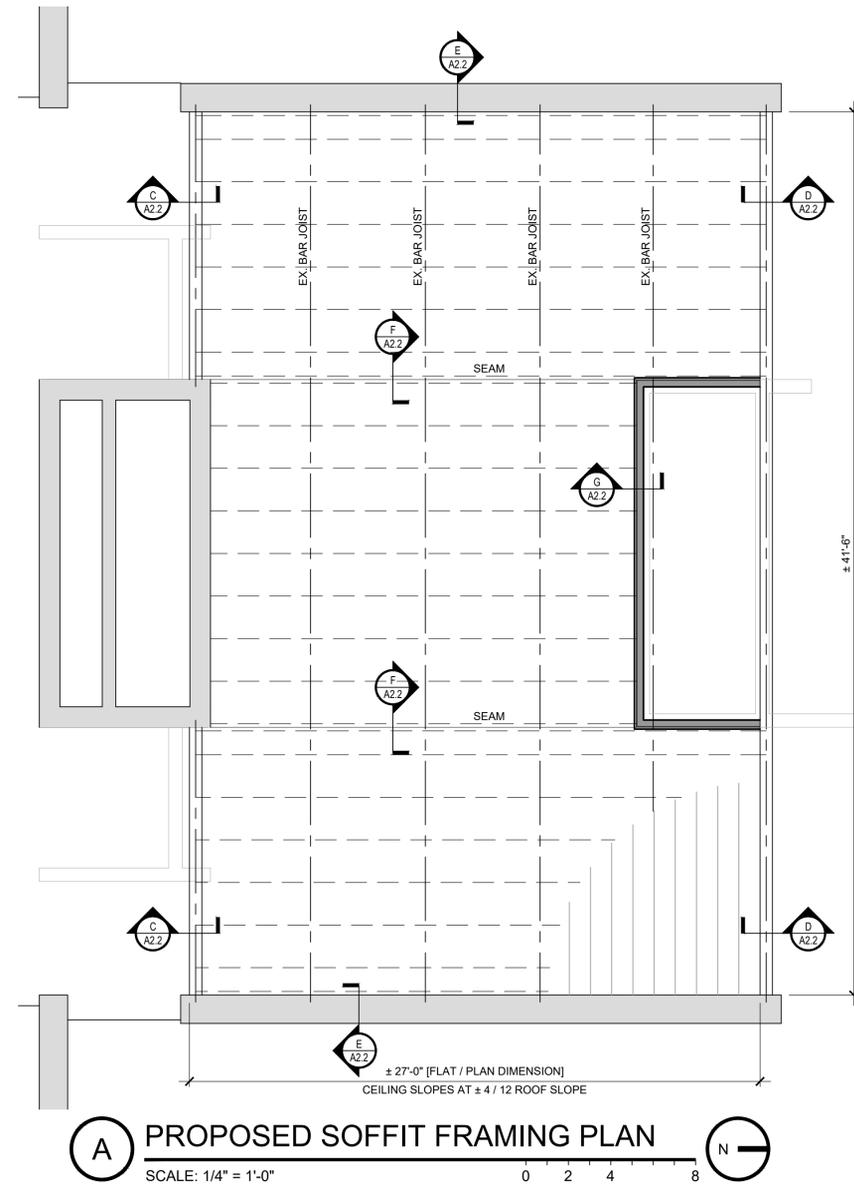
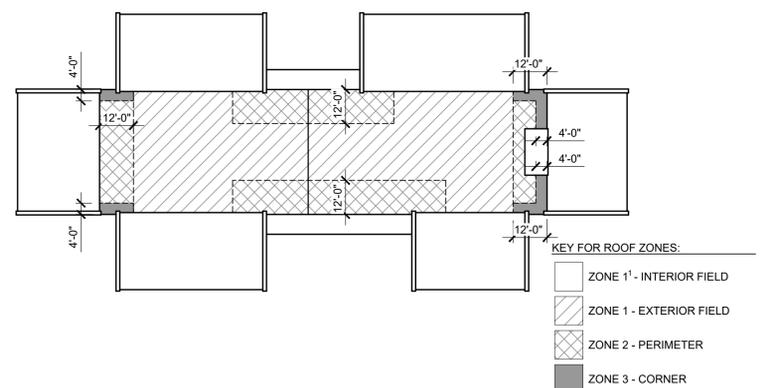
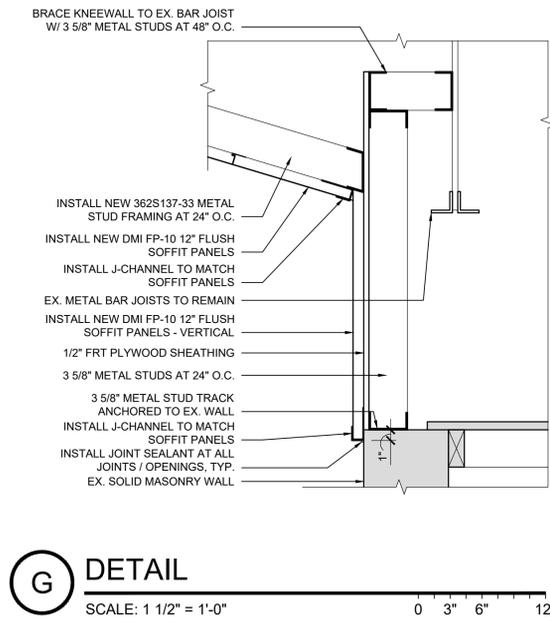
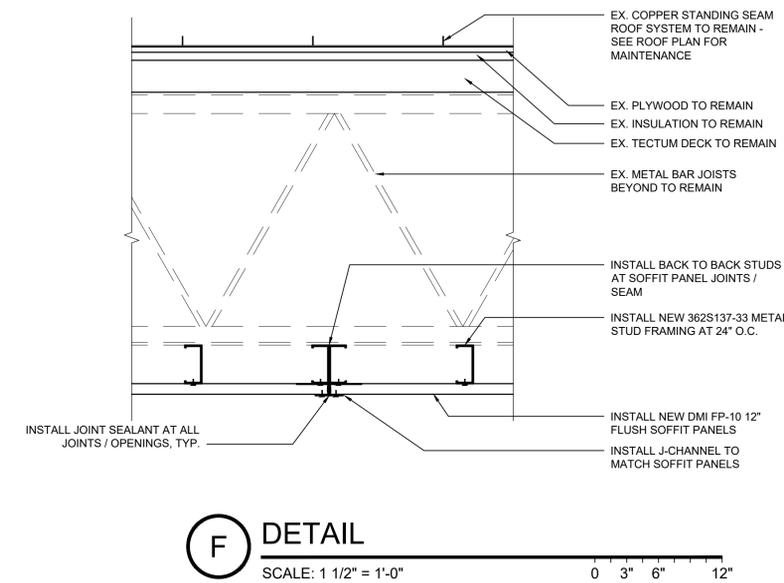
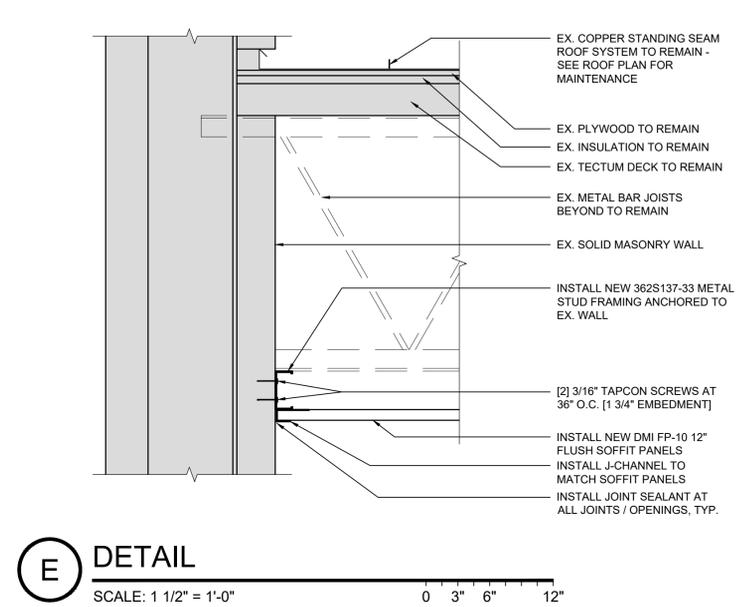
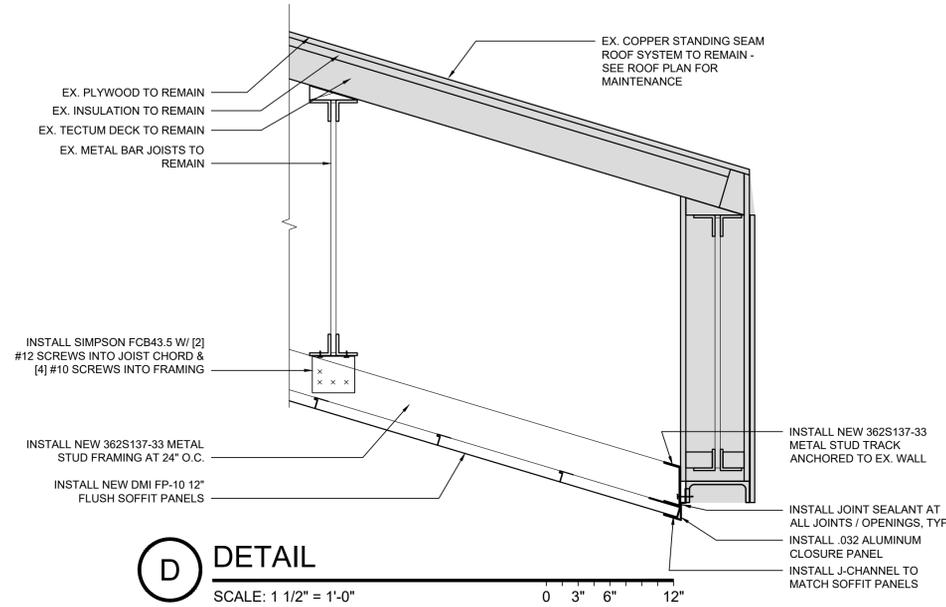
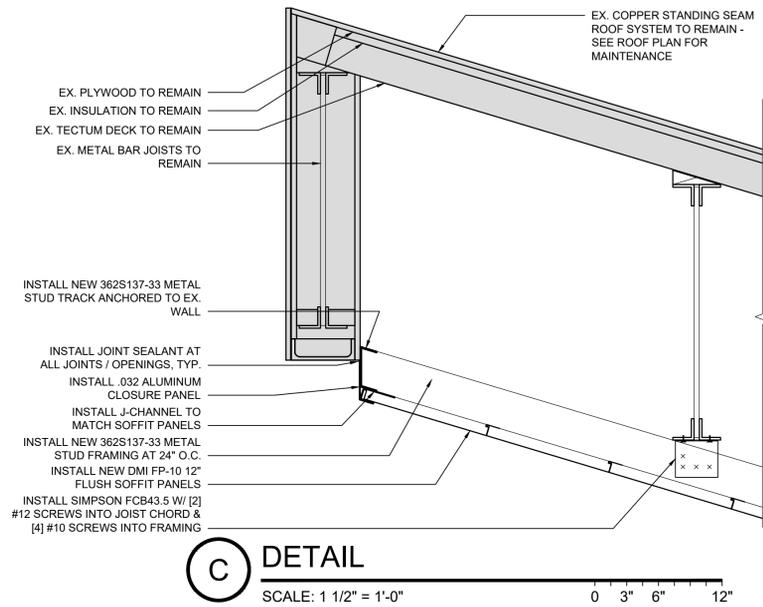
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Project Number	2022-156
Date	March 29, 2024
Date	Issue
02.12.24	Review Set
03.25.24	Review Set
03.29.24	Bid / Construction Set

Sheet Title
 Gerhardt Civic Center
 Soffit Framing Plan
 Details

Sheet Number

A2.2





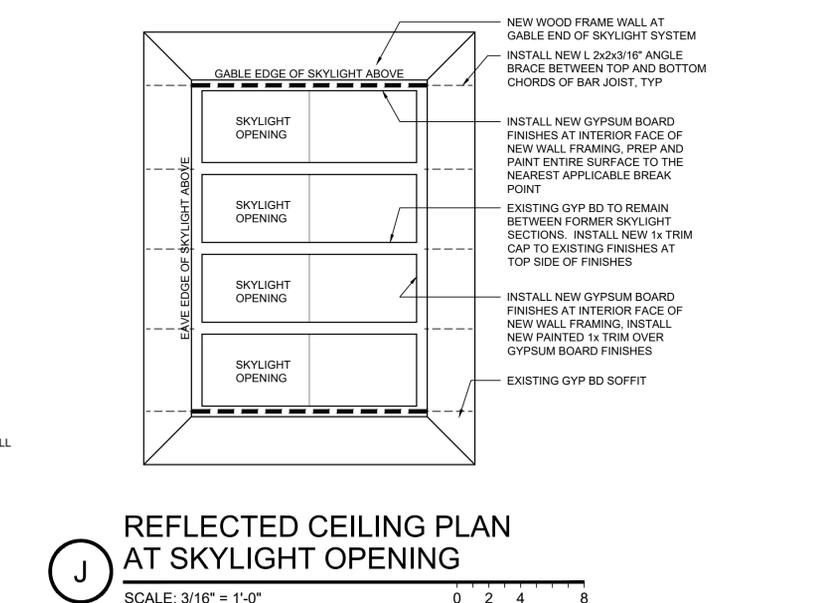
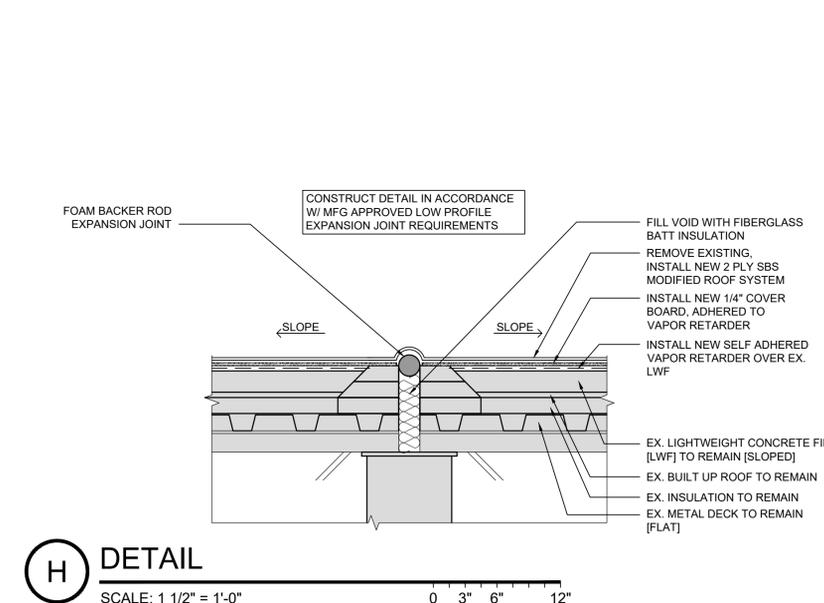
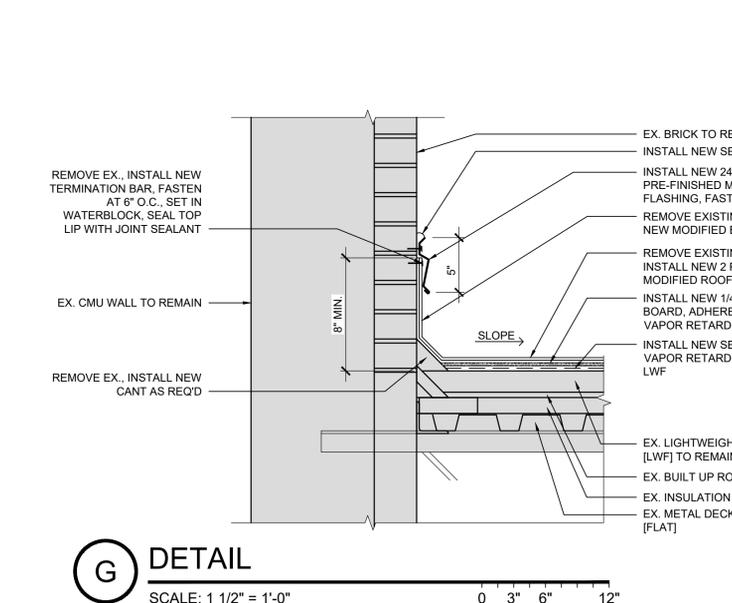
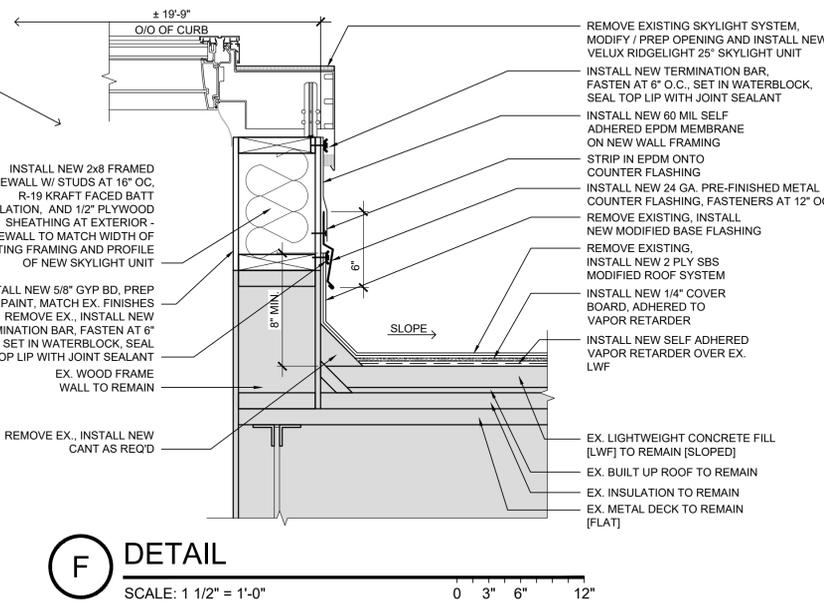
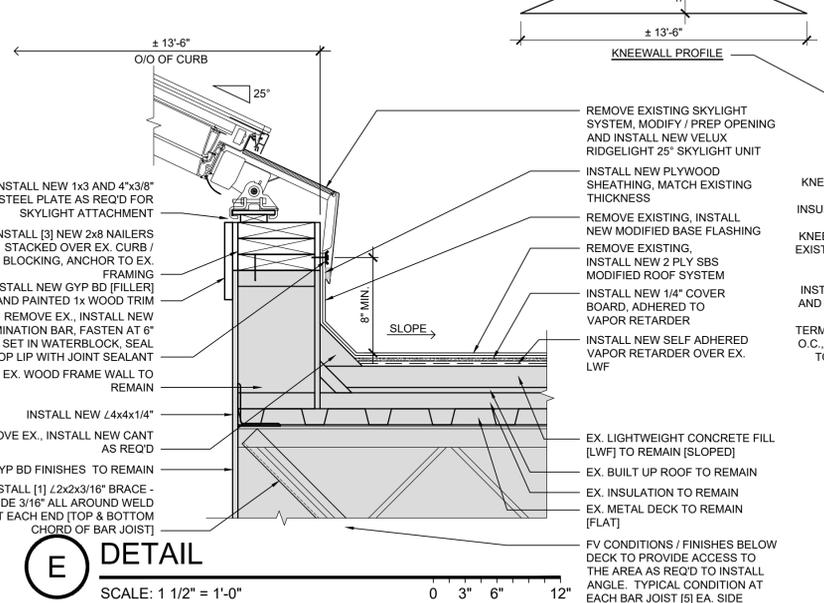
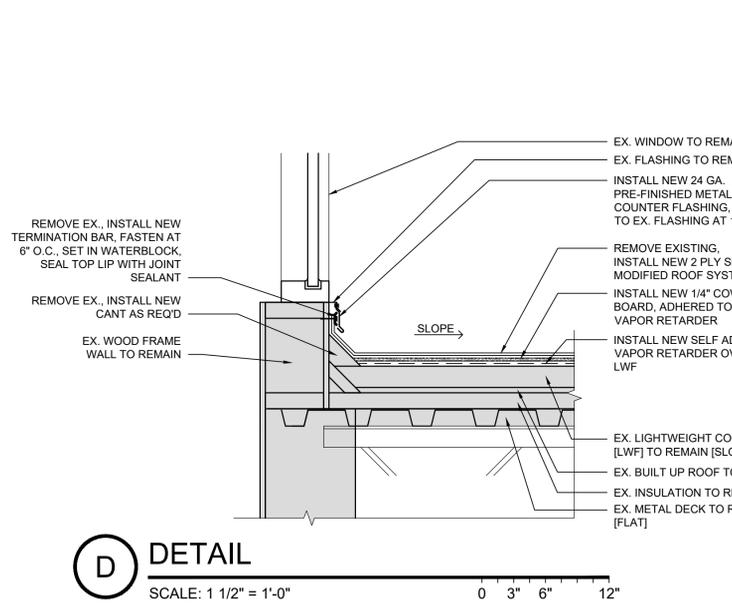
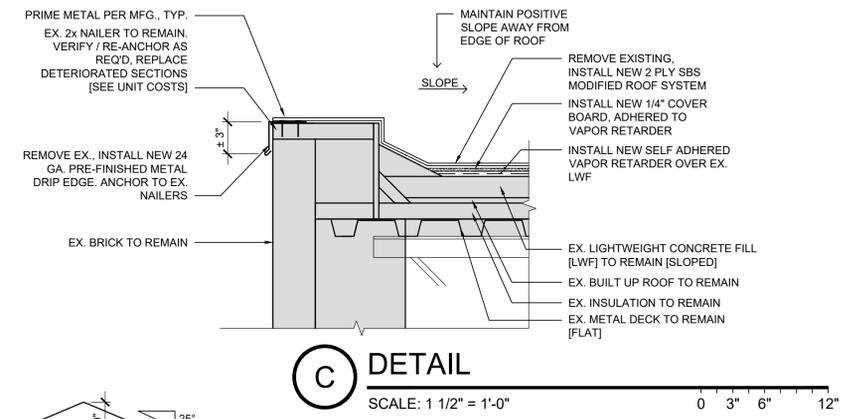
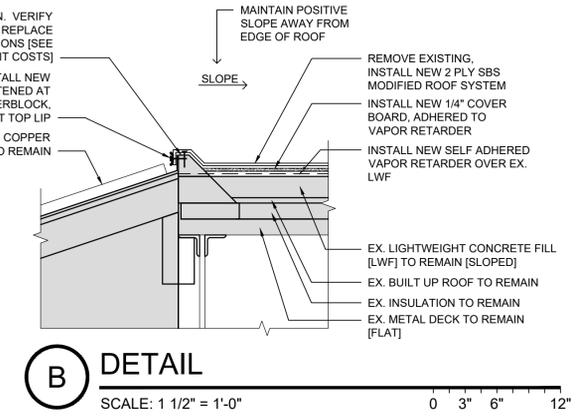
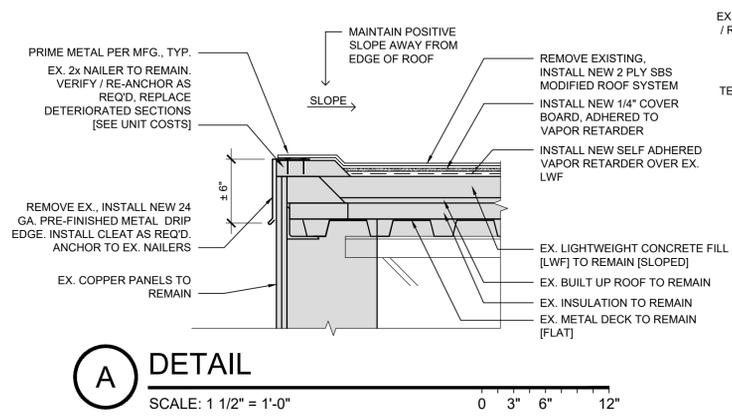
Jonathan Robert SchAAF #14503
Expiration Date 12/31/2025

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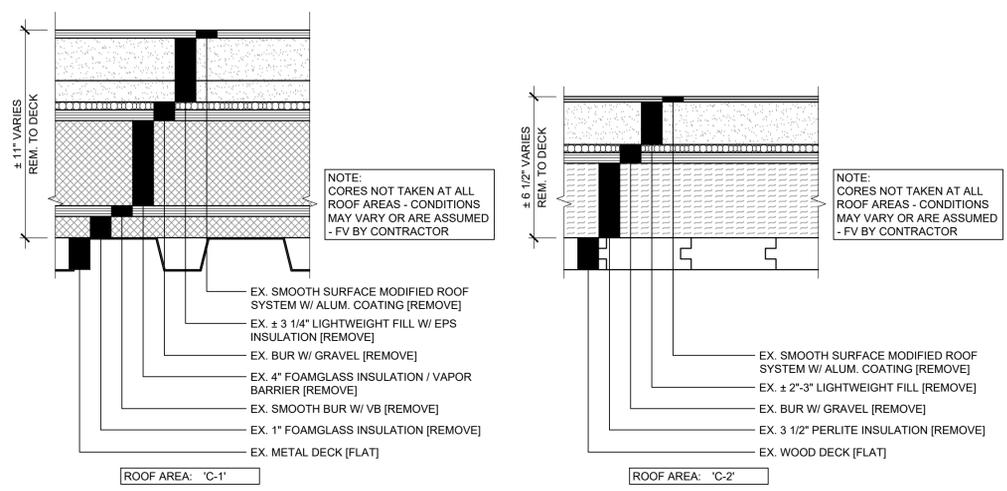
Roof Replacements 2024:
City of Moraine
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Gerhardt Civic Center
Maintenance Shop



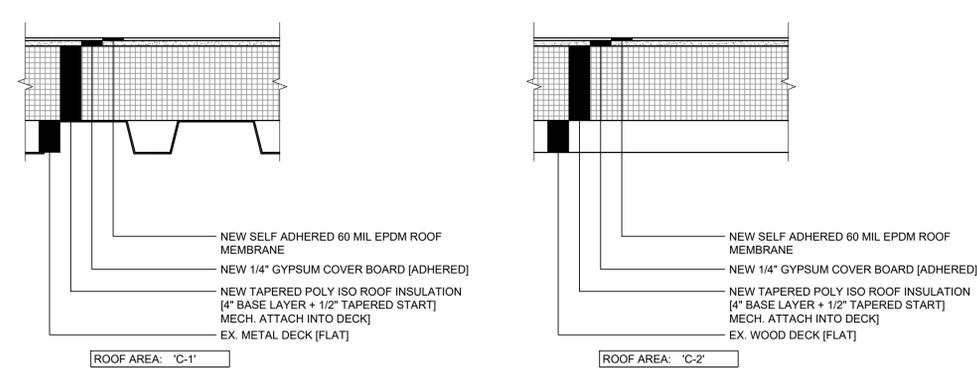
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Sheet Title
Gerhardt Civic Center
Details

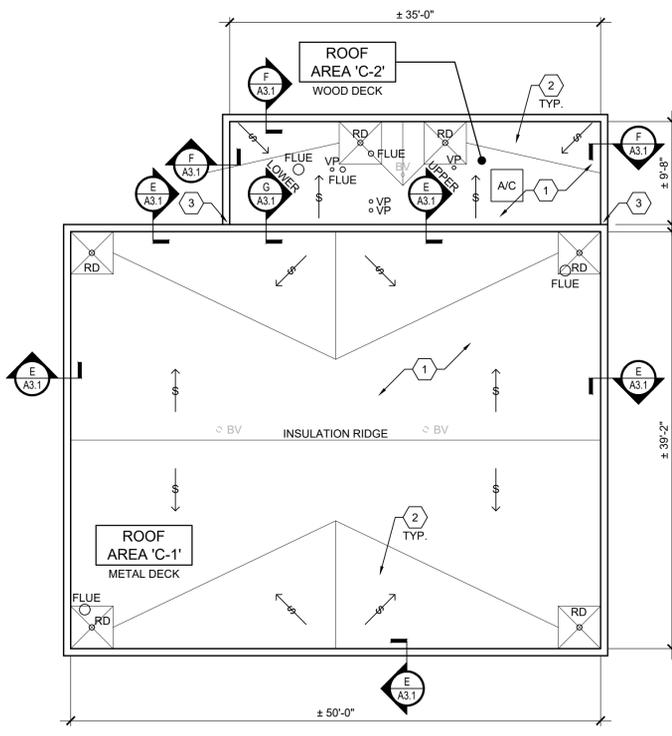
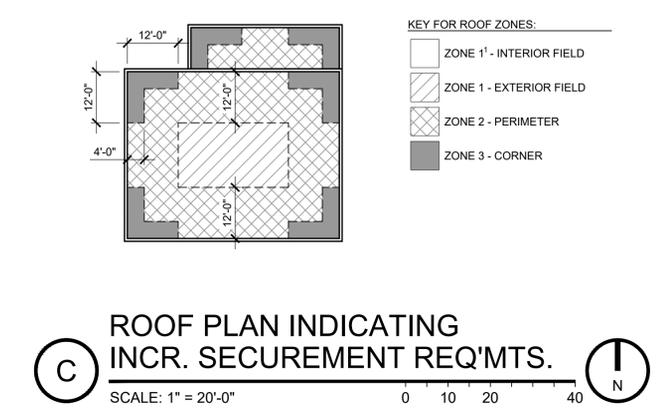
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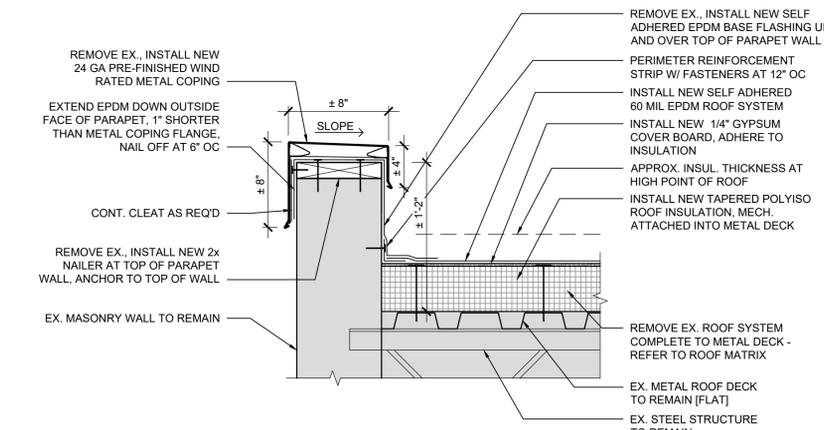
A EXISTING ROOF MATRIX
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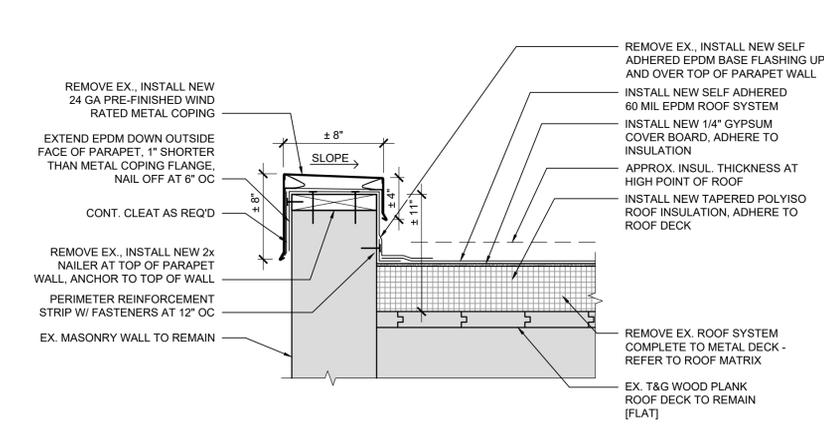
B PROPOSED ROOF MATRIX
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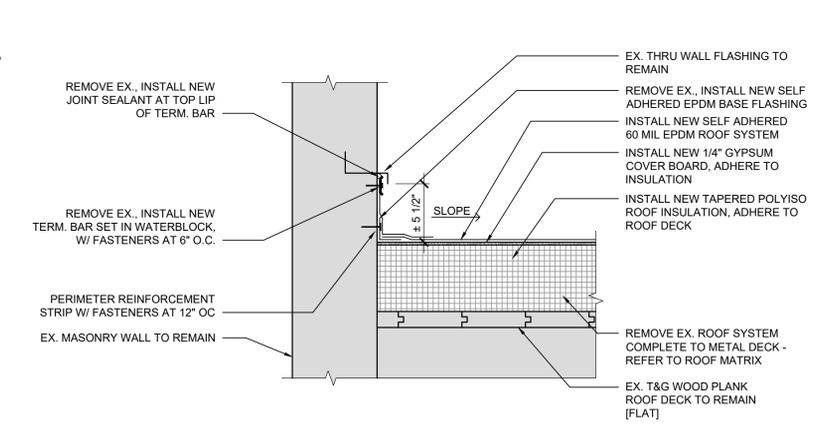
D ROOF PLAN
SCALE: 1/8" = 1'-0"



E DETAIL
SCALE: 1 1/2" = 1'-0"



F DETAIL
SCALE: 1 1/2" = 1'-0"



G DETAIL
SCALE: 1 1/2" = 1'-0"

- KEY NOTES**
- REMOVE EXISTING ROOF SYSTEM COMPLETE TO ROOF DECK, INCLUDING ALL APPLICABLE FLASHINGS. INSTALL NEW TAPERED INSULATION, COVER BOARD, AND EPDM ROOF SYSTEM AS SCHEDULED, INCLUDING ALL APPLICABLE FLASHINGS.
 - INSTALL NEW TAPERED INSULATION SADDLES BETWEEN ROOF DRAINS.
 - TURN COPING UP AT END OF PARAPET. INSTALL 24 GA. PRE-FINISHED METAL COUNTER FLASHING OVER.

- GENERAL NOTES**
- COORDINATE INSULATION STARTING THICKNESS W/ ELEVATION OF EXISTING ROOF DRAINS. ADJUST ROOF DRAIN ELEVATIONS OR TAPERED INSULATION SUMP CONFIGURATION AS REQ'D TO ACCOMMODATE NEW ROOF SYSTEM THICKNESS AT DRAINS.
 - VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.
 - INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS.
 - AT ALL EXISTING CURBS, ROOFTOP UNITS, ETC.: LIFT EXISTING UNIT OFF OF CURB TO ALLOW FLASHING UP AND OVER CURB. PROVIDE BLOCKING AS NECESSARY TO RAISE THE CURB ABOVE THE NEW ROOF SURFACE PER MFG. REQUIREMENTS. INSTALL NEW FASTENERS TO RE-SECURE UNIT BACK IN PLACE UPON COMPLETION OF WORK (MIN. OF 2 PER SIDE). IF UNIT CANNOT BE LIFTED OFF OF CURB, INSTALL NEW 24 GA. PRE-FINISHED METAL BIB FLASHING AT CURB.
 - VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERS AND OVERLAPS EXISTING JOINTS, MASONRY, EIFS, ETC. AND WILL NOT LEAVE UNFINISHED EDGES, PROFILES, SHADOWS, ETC.
 - REMOVE / REINSTALL EXISTING ELECTRICAL DEVICES, SENSORS, ETC. AS REQ'D TO INSTALL NEW METAL COPING, TYP. ALL AREAS.
 - ALL EXPOSED TO VIEW JOINT SEALANT SHALL BE INSTALLED BY A QUALIFIED APPLICATOR. QUALITY OF SEALANT JOINTS WILL BE REVIEWED DURING CONSTRUCTION INCLUDING PROPER WIDTH / DEPTH RATIO, BACKER ROD, PRIMER, AND AESTHETICS - COORDINATE AS REQ'D.
 - INSTALL 1/4" GYPSUM / DENSDECK OR 1/2" HIGH DENSITY POLYISO COVER BOARD OVER FACE OF EXISTING PARAPET WALLS AND ROOF-WALL TRANSITIONS IF CONDITIONS DO NOT PERMIT APPLICATION OF NEW BASE FLASHING UP FACE OF WALL. THIS WILL BE ADDRESSED VIA FIELD CHANGE IF REQUIRED.
 - VERIFY CONDITION OF EXISTING METAL DECK AFTER REMOVAL OF EXISTING ROOF SYSTEM. REMOVE AND REPLACE DETERIORATED, CORRODED, FAILING METAL DECK. INCLUDE IN BID AMOUNT AN ALLOWANCE OF 4000 SF OF METAL DECK REPLACEMENT AND 100 SF OF WOOD PLANK DECK REPLACEMENT.



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Roof Replacements 2024:
City of Moraine
Payne Recreation Center
Gerhardt Civic Center
Maintenance Shop

Project Number	
2022-156	
Date	
March 29, 2024	
Date	Issue
02.12.24	Review Set
03.25.24	Review Set
03.29.24	Bid / Construction Set
Sheet Title	
Maintenance Shop Roof Matrix / Roof Plans Details	
Sheet Number	
A3.1	