

Roof Recover 2019 at:

# Payne Recreation Center Gym Roof

3800 Main Street  
Moraine, Ohio 45439

for:  
City of Moraine



## AERIAL KEY PLAN - PAYNE RECREATION CENTER

N.T.S.



### SHEET INDEX

- A1.1 PROJECT INFORMATION  
A1.2 ROOF PLAN / ROOF MATRIX / ROOF DETAILS

### WIND PRESSURE DESIGN NOTES:

ENGINEERED DESIGN BASED UPON OHIO BUILDING CODE AND ASCE 7-10 WIND DESIGN UPLIFT PRESSURES [ASD].  
COMPONENTS AND CLADDING:  
-BUILDING HEIGHT: 25'  
-WIND REGION: 120 MPH  
-BUILDING CONFIGURATION: ENCLOSED.  
-EXPOSURE 'C'  
-IMPORTANCE CATEGORY: III

DESIGN WIND UPLIFT LOADS [ASD] IN ACCORDANCE WITH ASCE 7-10 AND OHIO BUILDING CODE  
ZONE 1 (FIELD): -21.0 PSF  
ZONE 2 (PERIMETER): -35.2 PSF  
ZONE 3 (CORNERS): -53.0 PSF

DESIGN WIND RESISTANCE LOADS IN ACCORDANCE WITH FACTORY MUTUAL GLOBAL DS-I-28  
CRITERIA: FACTOR OF SAFETY OF 2 FROM THE PRESSURES INDICATED IN ASCE 7-10  
ZONE 1 (FIELD): -42.0 PSF  
ZONE 2 (PERIMETER): -10.5 PSF  
ZONE 3 (CORNERS): -105.9 PSF  
NAILER ATTACHMENT: ANS/SPR/FM-4435/ES-I SEE SPECIFICATIONS

METAL COPING:  
VERTICAL-PERIMETER -10.5 PSF  
VERTICAL-CORNER -105.9 PSF  
HORIZONTAL-PERIMETER -45.5 PSF  
HORIZONTAL-CORNER -56.2 PSF

### INSULATION ADHESIVE / ATTACHMENT REQUIREMENTS

ADHESIVE  
ZONE 1: 6" O.C. ADHESIVE BEADS  
ZONE 2: 6" O.C. ADHESIVE BEADS  
ZONE 3: 6" O.C. ADHESIVE BEADS

NOTE:  
THE INDICATED ADHESION AND ATTACHMENT RATES ARE THE RECOMMENDED REQUIREMENTS. THE CONTRACTOR SHALL CONFIRM WITH THE MANUFACTURER TO ENSURE THE ACTUAL SYSTEM BEING INSTALLED PER THEIR REQUIREMENTS TO MEET THE SPECIFIED WARRANTY (INCLUDING WIND) REQUIREMENTS. THIS SHALL BE ACCOMPLISHED PRIOR TO SUBMITTING FOR BIDS AND ANY DEVIATION SHALL BE INCLUDED IN THE BID AMOUNT.

### EXISTING BUILDING CONSTRUCTION

STRUCTURE: STEEL ROOF STRUCTURE W/ MASONRY BEARING WALLS.  
EXTERIOR WALLS: CMU / BRICK  
PARTITION WALLS: METAL STUD WITH DRYWALL  
ROOF DECK: METAL

### CODE REVIEW

CONSTRUCTION TYPE II B

USE GROUP: A-3

THIS PROJECT INCLUDES ROOF REPLACEMENT INCLUDING ASSOCIATED IMPROVEMENTS TO ROOFTOP BUILDING COMPONENTS.

NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

### GENERAL PROJECT REQUIREMENTS

- INTENT: THE INTENT OF THESE DOCUMENTS IS A ROOF RECOVER PROJECT AT THE PAYNE RECREATION CENTER FOR THE CITY OF MORAIN.
- OCCUPANCY: BUILDING WILL BE OCCUPIED DURING CONSTRUCTION FOR ON-GOING OPERATIONS. CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH OWNER AND THE PROJECT TEAM TO MINIMIZE THE IMPACT ON THE OCCUPANTS - REFER TO SPECIFICATIONS. CONTRACTOR SHALL INCLUDE ANY ADDITIONAL COSTS FOR PROJECT SCHEDULING AS INDICATED HEREIN AND WITHIN SPECIFICATIONS.
- CONTRACTOR SHALL FOLLOW APPLICABLE GENERAL CONDITIONS REQUIREMENTS AS ESTABLISHED ON THE LATEST EDITION OF AIA DOCUMENT A-201.
- AT THE END OF EACH WORK DAY, ALL WORK SHALL BE COMPLETED IN SUCH A MANNER TO BE ADEQUATELY SEALED WATER-TIGHT TO EITHER EXISTING ROOF SYSTEMS OR PROPER FLASHINGS / TERMINATIONS AS IS APPLICABLE TO THE WORK. ALL PROVISIONS MUST BE TAKEN TO MINIMIZE ANY LEAKS INTO THE BUILDING.
- CONTRACTOR'S USE OF JOB SITE:
  - WORK HOURS: COORDINATE WITH OWNER.
  - ACCESS: ROOF ACCESS SHALL BE PROVIDED VIA CONTRACTOR PROVIDED AND MAINTAINED PORTABLE LADDERS OR VIA THE EXISTING ROOF HATCH IF APPROVED BY THE OWNER. CONTRACTOR TO PROVIDE AND MAINTAIN ALL REQUIRED PROTECTION FOR EXISTING INTERIOR FINISHES. ANY DAMAGES, CLEANING, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. BUILDING ACCESS WILL BE RESTRICTED. NO DIRECT ACCESS WILL BE PROVIDED TO OTHER AREAS OF THE INTERIOR OF THE BUILDING UNLESS SPECIFICALLY APPROVED AND COORDINATED BY THE OWNER.
  - CONTRACTOR SHALL PROVIDE ALL NECESSARY CRANES, MAN-LIFTS, CHUTES, ETC. FOR THE PROPER EXECUTION OF THE WORK.
    - CONTRACTOR TO PROVIDE CHUTE FOR ALL TRASH / DEBRIS REMOVAL UNLESS SO REMOVED VIA A CRANE.
    - THROWING DEBRIS OFF THE ROOF IS NOT PERMITTED.
  - PROJECT STAGING AREA: AT OWNER DIRECTION
    - CONTRACTOR SHALL PROVIDE ON-SITE SECURABLE CONSTRUCTION MATERIALS STORAGE AND TRASH DUMPSTER FOR THE PROJECT. LOCATE IN AN APPROVED LOCATION COORDINATE WITH THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING REQUIRED SECURITY/PROTECTION MEASURES.
  - PARKING: AT OWNER DIRECTION
- TEMPORARY UTILITIES:
  - CONTRACTOR TO PROVIDE TEMPORARY POWER AS REQD FOR CONSTRUCTION. CONTRACTOR CAN UTILIZE EXISTING POWER AND WATER IF AVAILABLE.
  - CONTRACTOR TO PROVIDE PORTABLE TOILET FACILITIES FOR CONSTRUCTION PURPOSES.
- TRASH / DEBRIS:
  - CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQD FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - THE CONTRACTOR SHALL CLEAN THE WORK SITE ON A DAILY BASIS FROM ALL CONSTRUCTION DEBRIS. ENSURE THAT ALL DEBRIS AND MATERIALS LOCATED ON THE ROOF ARE PROPERLY SECURED/STRAPPED DOWN. NO DEBRIS SHALL BE LEFT ON THE GROUNDS AROUND THE BUILDING AT ANY TIME.
  - FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- CONSTRUCTION SAFETY:
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. THE ARCHITECT AND THE CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF THEMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - MAINTAIN ALL REQUIRED PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE BARRICADES AND BARRIERS AT BUILDING ENTRANCES AND PUBLIC SIDEWALKS, DRIVEWAYS, ETC. AS NECESSARY TO MAINTAIN SAFE INGRESS/EGRESS. PROVIDE PROTECTION FROM DAMAGE TO KINDRED SYSTEMS BELOW THE WORK AREAS.
  - TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, TORCHING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES. CONFORM TO OWNER AND FIRE DEPARTMENT REQUIREMENTS.
- PRODUCTS:
  - ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - CONTRACTOR SHALL INSTALL ALL MATERIALS, FLASHINGS, TERMINATIONS, ETC. ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY ALL POSSIBLE DETAIL CONDITIONS REQUIRED FLASHINGS, ETC. COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER FOR ACCEPTANCE.
    - ALL FINAL FINISHES AND SELECTIONS SHALL BE COORDINATED WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC.
    - PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A COMPLETE SET OF SAFETY DATA SHEETS [SDS] FOR ALL MATERIALS USED ON THE PROJECT ON THE PROJECT SITE.
  - ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR DETERMINING QUANTITY OF EACH ITEM REQUIRED.
- PERMITS:
  - ALL WORK SHALL CONFORM TO THE OHIO BUILDING CODE AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE. CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
    - THE CONTRACTOR SHALL VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION.
    - THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY AN REGULATORY AUTHORITY IF WORK HAS COMMENCED PRIOR TO PERMITS BEING ISSUED, INCLUDING ANY ADDITIONAL FEES OR FINES LEVIED AGAINST THE PROJECT.
    - THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COST RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL GOVERNING AGENCIES APPROVALS.

### LEGEND

- NOTE: NOT ALL ITEMS MAY APPLY TO THIS PROJECT
- VENTS, VENT STACKS, EXHAUST, ROOF HATCH, AND ETC. (ALL REQUIRE NEW MEMBRANE BASE FLASHING)
  - EXISTING ROOF DECK SLOPE DIRECTION
  - SLOPE DIRECTION (NEW TAPERED INSULATION / TAPERED SADDLES)
  - EXISTING ROOF DRAINS
  - THRU-WALL SCUPPER, CONDUCTOR HEAD, DOWNSPOUT - NEW/EXISTING/MODIFIED AS NOTED.
  - THRU-WALL OVERFLOW SCUPPER - NEW/EXISTING/MODIFIED AS NOTED. COORDINATE HEIGHT ABOVE ROOF SURFACE.
  - PIPE SLEEVE / FLANGE AND RAIN CAP
  - NEW PITCH POCKET
  - DOWNSPOUT
  - VENT PIPE - BOOT TYPE PIPE FLASHING
  - BOOT TYPE PIPE FLASHING
  - EQUIPMENT ENCLOSURE

- THE CONTRACTOR AS THE HOLDER OF THE PERMITS IS RESPONSIBLE TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. REQUESTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING JURISDICTION. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK. RECORDS OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS AND FORMAT OF GOVERNING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR ITS AGENTS.
- COORDINATION:
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE DUE TO A CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF INCONSISTENCIES OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC.
  - COORDINATION AMONG ALL TRADES IS MANDATORY. ANY COST CHANGES RESULTING FROM THE LACK OF COORDINATION SHALL BE BORNE BY THE CONTRACTOR CREATING THE CONFLICT.
  - THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUBCONTRACTORS. ALL CROSS-REFERENCING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - THE ABBREVIATION N.I.C. INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE CONTRACTOR. THIS SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF COORDINATION.
- VERIFICATION OF EXISTING CONDITIONS / ACCEPTANCE OF CONDITIONS
  - DO NOT SCALE DRAWINGS.
    - ALL DIMENSIONS INDICATED ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION. REFER TO DRAWING NOTES FOR ANY SPECIAL NOTES THAT MAY GOVERN THE LAYOUT OF WORK.
  - CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL CONDITIONS, DIMENSIONS, ELEVATIONS, SLOPES, DETAILS, DRAINS, PENETRATIONS, AND INTERRELATED INFORMATION IN THESE DRAWINGS FOR ACCURACY AS SHOWN WITH THE INTENT OF THESE DRAWINGS PRIOR TO THE START OF WORK. REPORT ANY CONCEALED ELEMENTS OR DIFFERING CONDITIONS WHICH MAY AFFECT CONSTRUCTION TO THE ARCHITECT.
    - THE CONTRACTOR SHALL VERIFY EXISTING DECK SURFACES AND SLOPES PRIOR TO INSTALLATION OF INSULATION/TAPERED INSULATION, ETC. TAKE ALL PROVISIONS TO ENSURE PROPER DRAINAGE INCLUDING STRING LEVELING THE DECK, ETC. TO DETERMINE ANY IRREGULARITIES, BELLY, RIDGE, ETC. THAT MAY AFFECT THE PROPER FLOW OF WATER TO THE DRAINAGE SYSTEM.
    - THE CONTRACTOR SHALL VERIFY THE CONDITION OF ALL EXISTING DRAINAGE SYSTEM COMPONENTS (INTERNAL ROOF DRAINS, SCUPPERS, GUTTERS, ETC.). NOTIFY ARCHITECT OF ANY REPAIRS THAT ARE REQUIRED SUCH AS BROKEN DRAIN BOLTS, CLAMPING RINGS, ETC. ALL DRAINS REQUIRE NEW FLASHING AND ANY COMPONENTS TO MAKE / MAINTAIN THEM OPERATIONAL.
    - CONTRACTOR SHALL VERIFY ALL DRAINAGE SYSTEMS ARE FREE-FLOWING AND DRAINING PROPERLY. IF DRAINAGE SYSTEMS BECOME CLOGGED DURING WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADDRESS AND INCLUDE ANY DRAINAGE SYSTEM COMPONENT AT THEIR EXPENSE.
  - START OF WORK IMPLIES ACCEPTANCE OF ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DEVIATIONS OR DISCREPANCIES FROM THE INTENT OF THE DOCUMENTS.
  - ALL ERRORS, OMISSIONS, AND INCONSISTENCIES IN THESE DRAWINGS WHICH ARE DISCOVERED ARE TO BE REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION, BEFORE PROCEEDING WITH THE WORK. ANY SITE OR JOB CONDITIONS THAT ARISE AND CAUSE THE CONTRACTOR TO VARY FROM THE CONTRACT DOCUMENTS SHALL BE ANALYZED BY AND ARE THE RESPONSIBILITY OF THE CONTRACTOR IF THEY ARE NOT REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
  - IT SHALL BE THE JOINT RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS OF MATERIALS TO SECURE ALL NECESSARY ADAPTATIONS TO SAME AS REQUIRED FOR THEIR RESPECTIVE WORK PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF ANY MATERIALS, EQUIPMENT, OR COMPONENTS WHICH ARE TO BE INTEGRATED INTO THE WORK OF THIS PROJECT.
  - DRAWINGS MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY SLIGHTLY FROM AREA TO AREA. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS.
  - TAPERED INSULATION OR SADDLES LAYOUT AS SHOWN PROVIDES A GUIDE [AS APPLICABLE]. FOLLOW THE INTENT OF THE DRAWINGS. ONLY SLIGHT ADJUSTMENTS SHALL BE MADE. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH APPROVED MANUFACTURERS SCALED LAYOUT.
- PROTECTION / CUTTING AND PATCHING:
  - CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
  - CONTRACTOR SHALL PROVIDE ALL LEVELING, PATCHING, AND REMEDIAL REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING FINISHES AND TO PREPARE EXISTING SURFACES FOR NEW FINISHES.
  - THE CONTRACTOR SHALL REMOVE ALL UNUSED VENT PIPES, EQUIPMENT SUPPORTS, ETC. COORDINATE WITH THE OWNER.
  - ENSURE THAT ALL PENETRATIONS ARE PROPERLY SUPPORTED BELOW THE DECK.
  - CONTRACTOR SHALL CHECK FOR ROOFTOP CONDUITS, OBSTRUCTIONS, ETC. UNDER DECK PRIOR TO APPLICATION OF INSULATION, MECHANICAL FASTENING, ETC. COORDINATE ACCESS TO BELOW ROOF DECK WITH BUILDING OWNER.
  - REMOVE AND REINSTALL EXISTING CONDUITS/CABLING, ETC. AS REQUIRED TO INSTALL NEW ROOF SYSTEM.
  - CONTRACTOR SHALL USE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING INTERIOR PORTIONS OF THE BUILDING. PROVIDE ALL TEMPORARY PROTECTION REQD.
  - ALL WORK SHALL BE COORDINATED TO MINIMIZE DISTURBANCE TO THE BUILDING OCCUPANTS. THE CONTRACTOR SHALL COORDINATE SHUT DOWN OF HVAC / VENTILATION SYSTEMS, ETC. A MINIMUM OF 48 HOURS PRIOR TO ANY DISRUPTION OF SERVICE.
  - CONTRACTOR SHALL DISCONNECT AND RECONNECT ALL HVAC EQUIPMENT INCLUDING ELECTRICAL CONNECTION, REFRIGERANT PIPING, ETC. AS REQUIRED. PROVIDE OWNER A 48 HOUR NOTICE PRIOR TO PERFORMING THIS WORK.
  - THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE PROTECTION FROM VAPORS, FUMES, SMOKE, ETC. FROM ENTERING THE BUILDING TO THE BEST OF THEIR ABILITY. PROVIDE PROTECTION OF EXISTING SYSTEMS AS REQUIRED, COORDINATE WITH THE OWNER.

Roof Recover 2019:

Payne Recreation Center - Gym Roof

3800 Main Street  
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PREPARED FOR THE CITY OF MORAIN

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Expiration Date 12/31/2019

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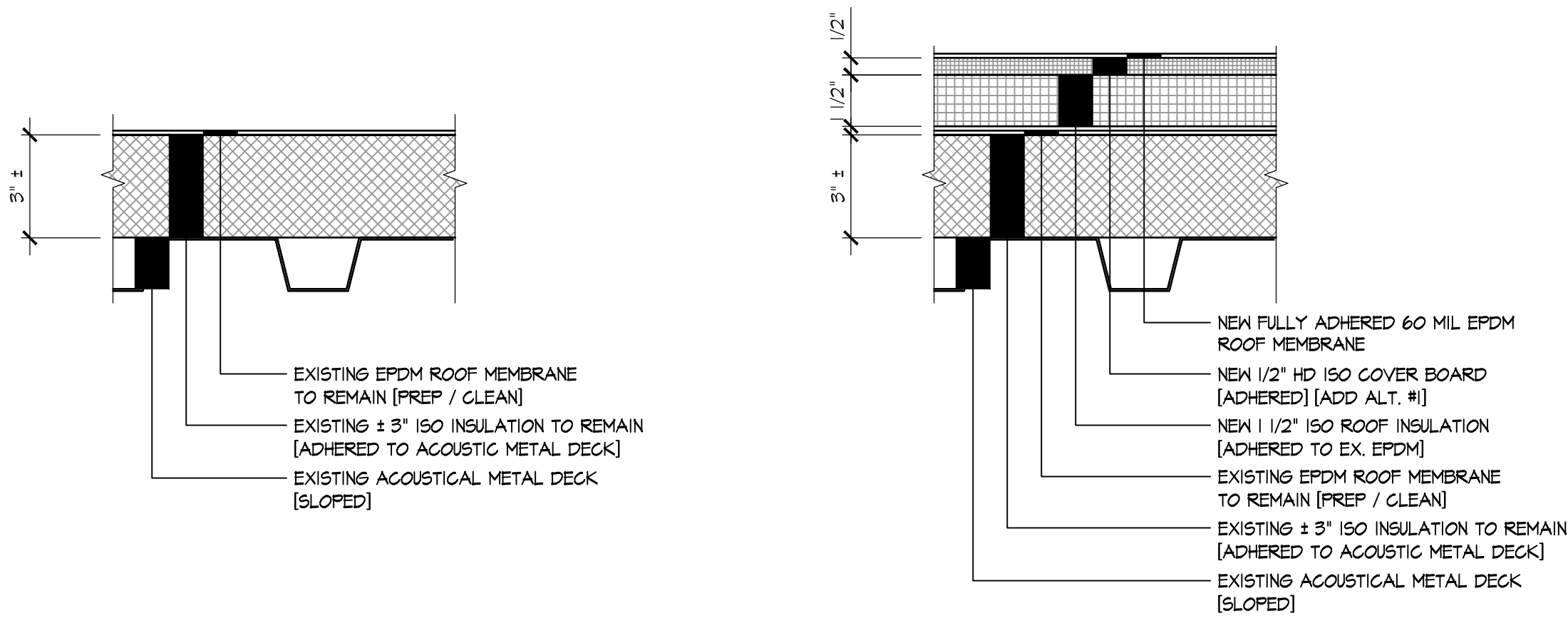
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Sheet Title  
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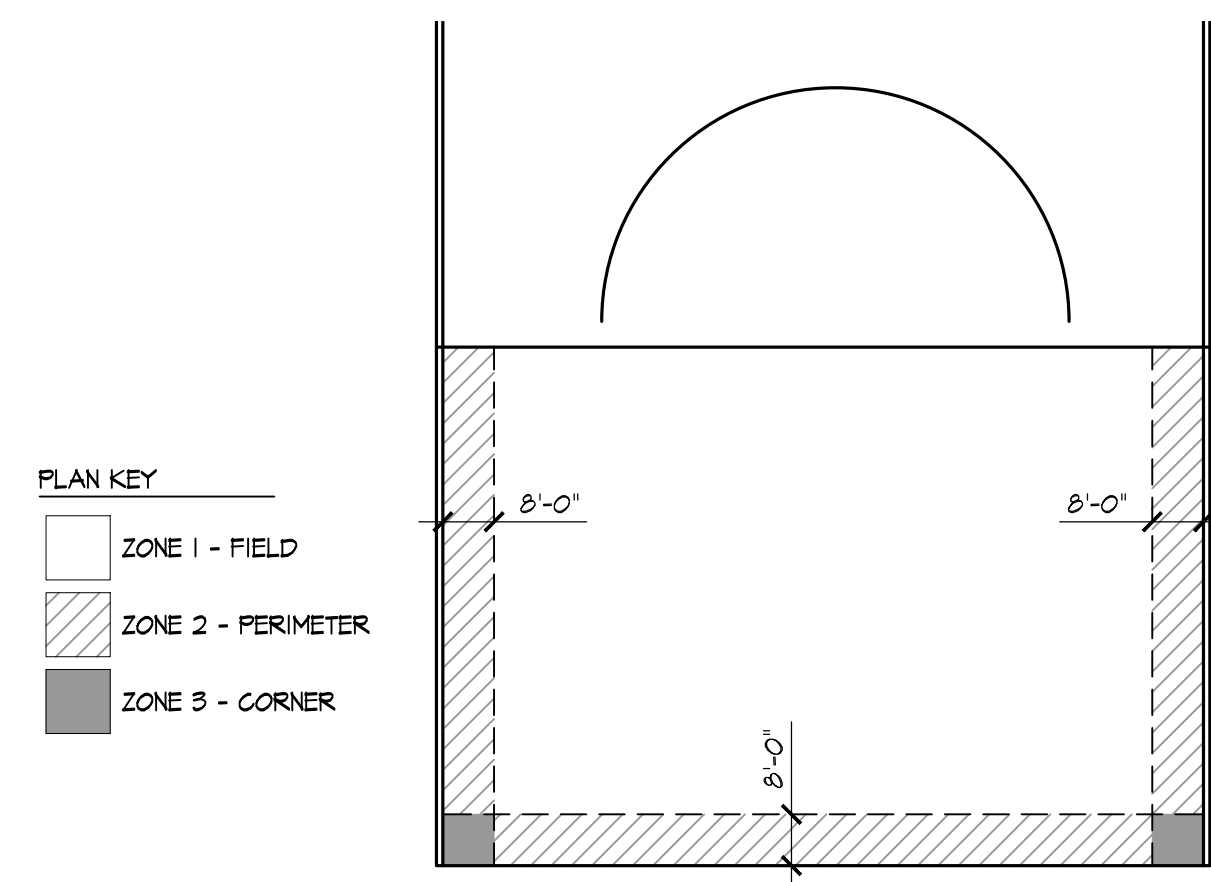
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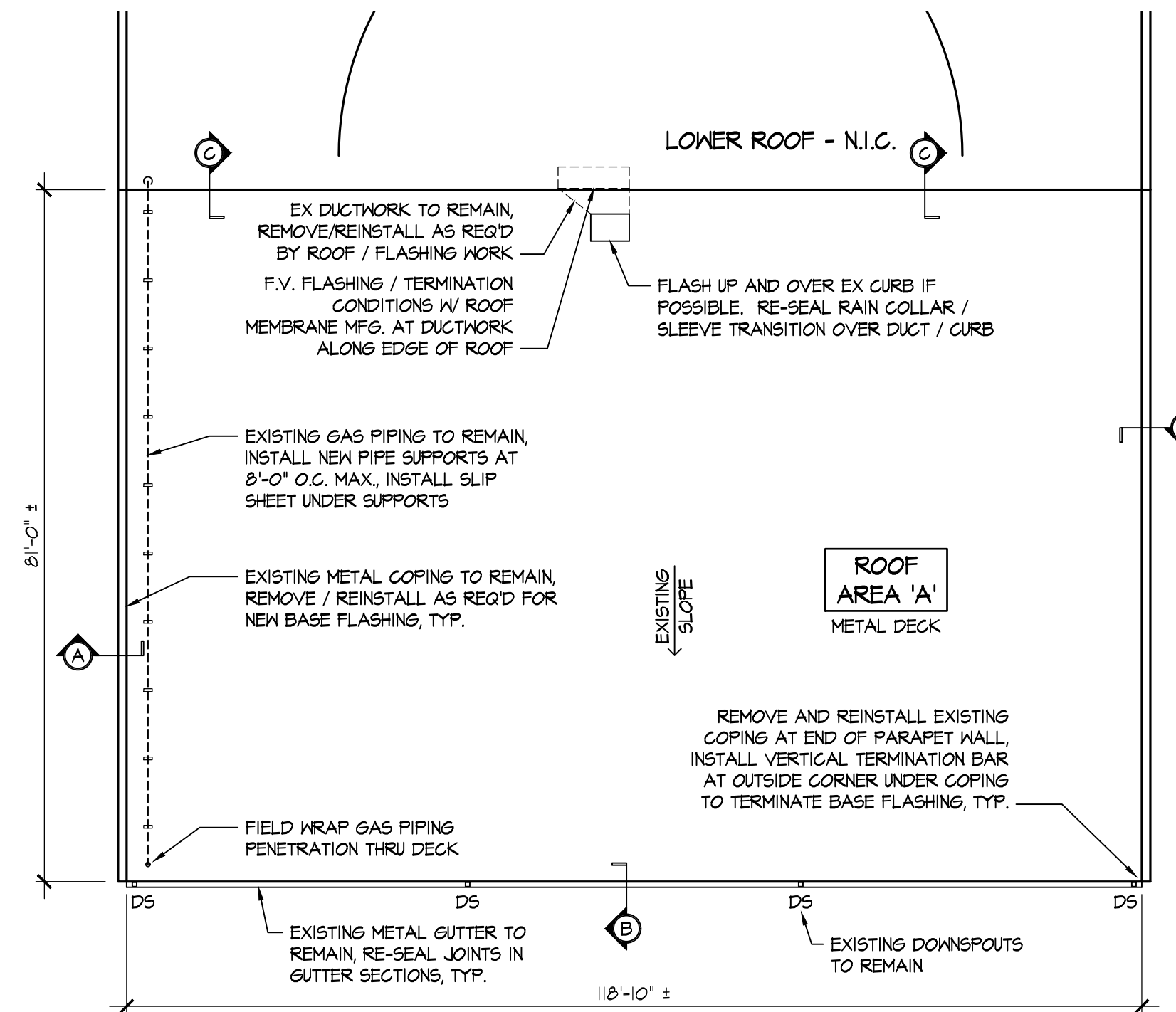


**EXISTING ROOF MATRIX**  
N.T.S.  
NOTE: CONTRACTOR SHALL VERIFY EXISTING ROOF CONDITIONS

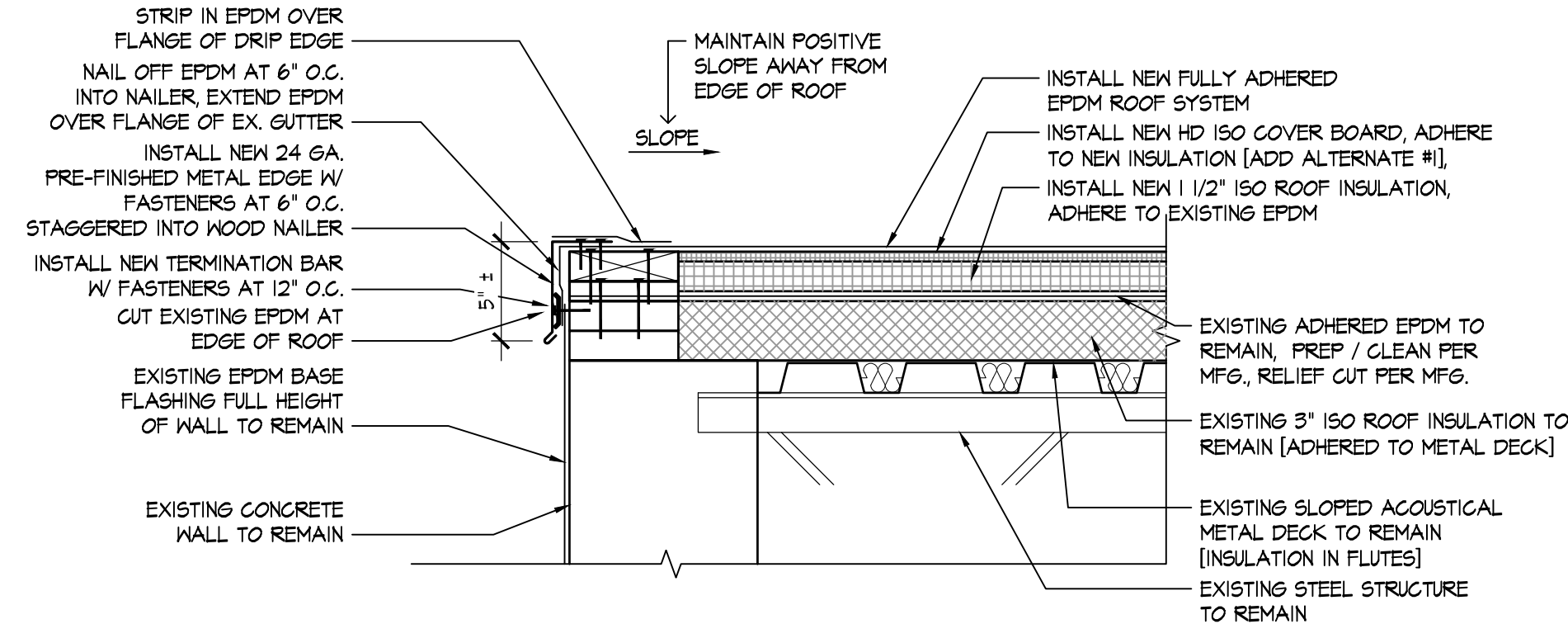
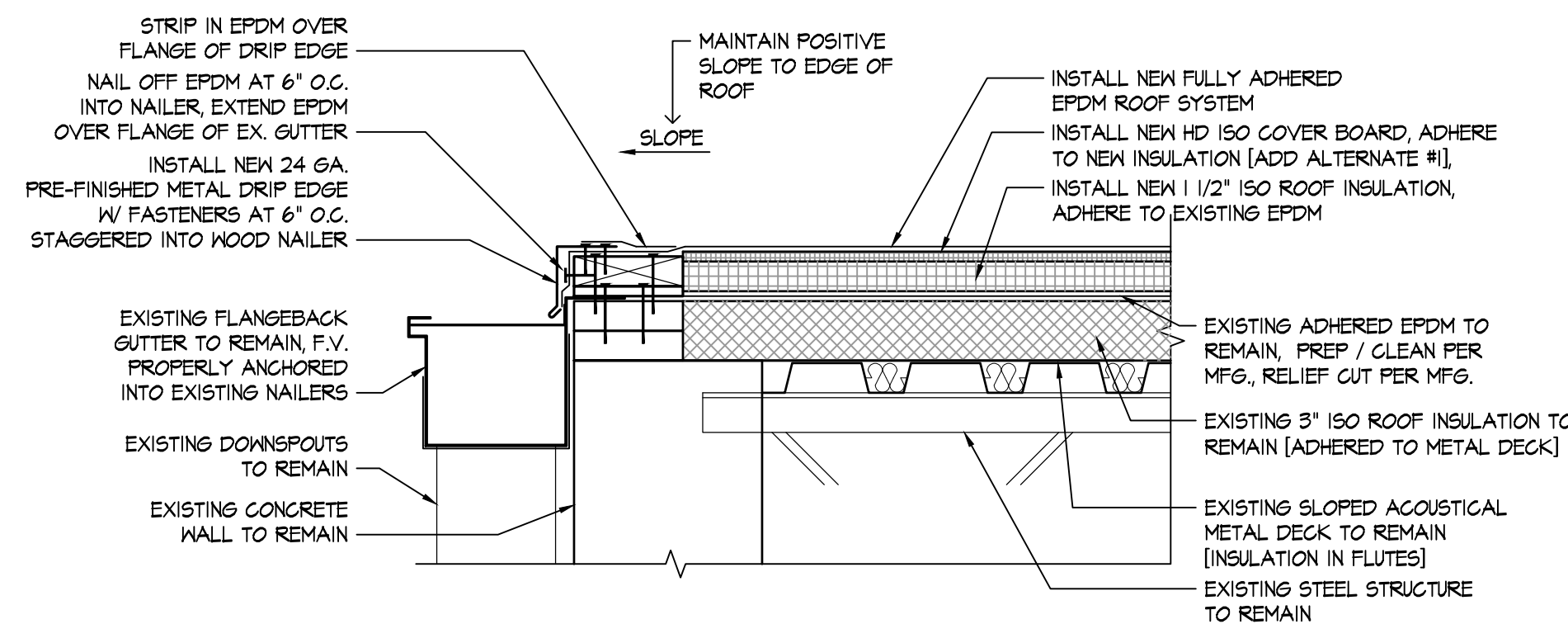
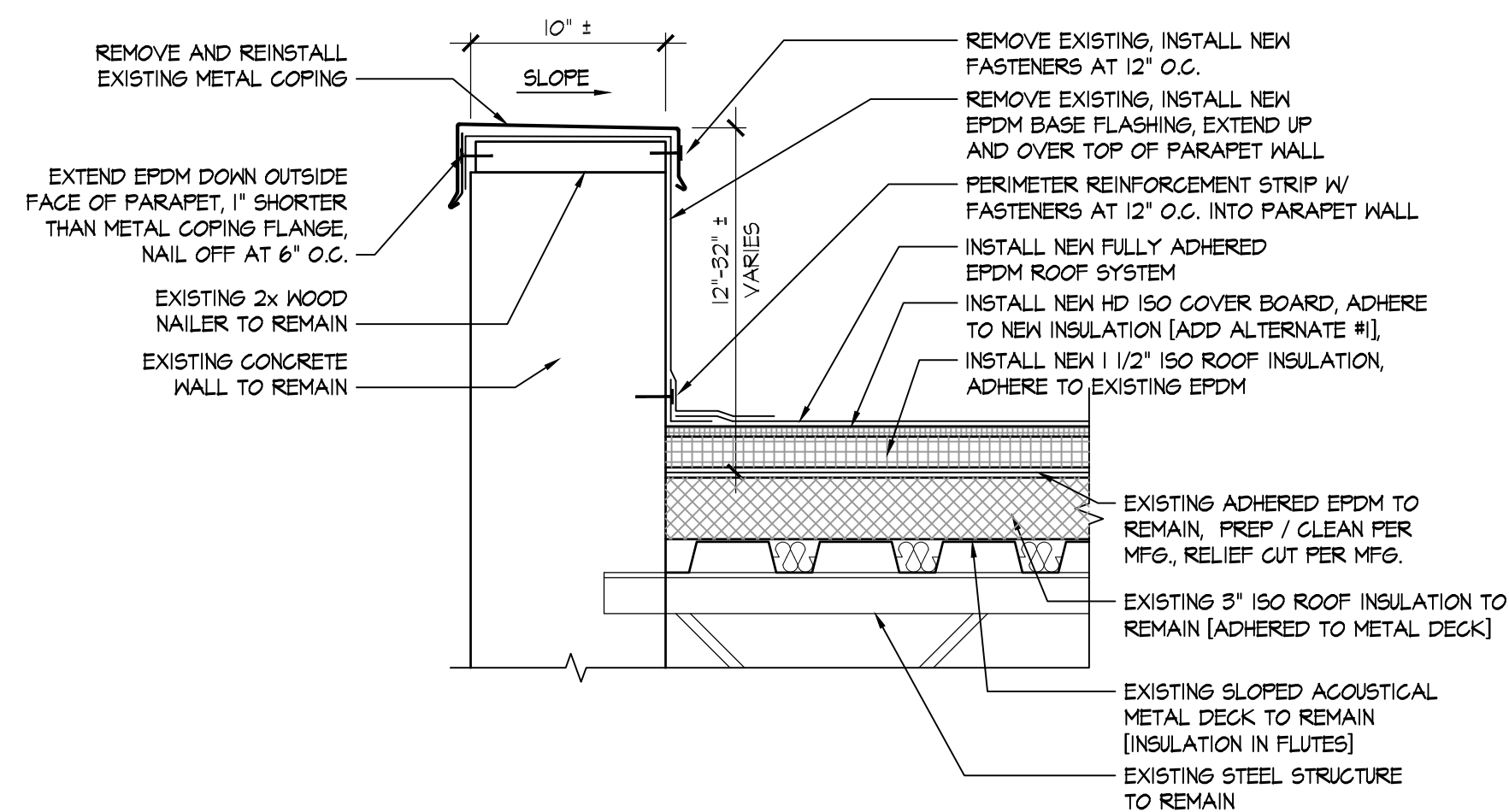
**PROPOSED ROOF MATRIX**  
N.T.S.  
NOTE: CORES NOT TAKEN AT ALL ROOF AREAS - CONDITIONS ARE ASSUMED - FIELD VERIFY BY CONTRACTOR



**OVERALL ROOF PLAN INDICATING INCREASED SECUREMENT REQUIREMENTS**  
1" = 30'-0"



**PROPOSED ROOF PLAN PAYNE REC CENTER**  
1/16" = 1'-0"



INSTALL MISCELLANEOUS BLOCKING / FURRING AS REQ'D FOR FILLERS, ETC. TO ALLOW PROPER ALIGNMENT OF NEW / EXISTING CONDITIONS

AT ALL EXISTING CURBS, ROOFTOP UNITS, ETC.: LIFT EXISTING UNIT OFF OF CURB TO ALLOW FLASHING UP AND OVER CURB. PROVIDE BLOCKING AS NECESSARY TO RAISE THE CURB ABOVE THE NEW ROOF SURFACE PER MFG. REQUIREMENTS. INSTALL NEW FASTENERS TO RE-SECURE UNIT BACK IN PLACE UPON COMPLETION OF WORK [MIN. OF 2 PER SIDE]. IF UNIT CANNOT BE LIFTED OFF OF CURB, INSTALL NEW 24 GA. PRE-FINISHED METAL BID FLASHING AT CURB.

CONTRACTOR TO VERIFY ALL DIMENSIONS FOR METAL EDGE, FASCIA, COPING, ETC. TO ENSURE NEW METAL ADEQUATELY COVERED EXISTING JOINTS, MASONRY, EIFS, ETC.

NOTE: CONTRACTOR SHALL VERIFY BELOW DECK CONFLICTS, COMMUNICATION WIRING, ELECTRICAL CONDUITS, ETC. THAT MAY BE ATTACHED JUST BELOW THE ROOF DECK PRIOR TO INSTALLING MECHANICAL FASTENERS INTO DECK SO AS NOT TO PENETRATE OR DAMAGE EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO BELOW DECK ITEMS AND SUBSEQUENT REPAIRS.

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Expiration Date 12/31/2019

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**A1.2**